



KLV

SURVEYOR'S OFFICE  
**Hamilton County**

*Kenton C. Ward, CEM*  
 Surveyor of Hamilton County  
 Phone (317) 776-8495  
 Fax (317) 776-9628

*Suite 188*  
 One Hamilton County Square  
 Noblesville, Indiana 46060-2230

February 2, 2018

To: Hamilton County Drainage Board

Re: Sly Run Drain, Pebble Brook Villas Arm

Attached is a petition filed by Pebble Brook Villas Developer, LLC by Platinum Properties Management Company, LLC, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Sly Run Drain, Pebble Brook Villas Arm to be located in Noblesville Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Stoepelwerth & Associates, Job No. 75875PLA-S1, the drain will consist of the following:

12" RCP	2,149 ft.	24" RCP	348 ft.
15" RCP	700 ft.	6" SSD	2,688 ft.
18" RCP	246 ft.	Open (ponds)	445 ft.
21" RCP	335 ft.		

The total length of the drain will be 6,911 feet.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The detention ponds (Lake #1 and #2) are to be considered part of the regulated drain. This is consistent with the ponds in other Pebble Brook sections. The maintenance of the ponds shall include the inlet and outlet as part of the regulated drain. The maintenance of the ponds such as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

A part of the existing Andover Arm currently flows through the northern part of the site in Common Area #2 as an open drain. As an existing drain, that arm is not included in the drain lengths noted above. The Andover Arm was approved by the Board at hearing on November 26<sup>th</sup>, 2007. (See Drainage Board Minutes Book 11, Pages 511-513).

On July 25, 2011, the Pebble Brook Drain was made an arm of the Sly Run Drain. This was approved by the Drainage Board at hearing per my report dated June 6, 2011. (See Drainage Board Minutes Book 13, Pages 489-491).

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Pebble Brook Villas will be \$6,200.10.

The petitioner submitted surety for erosion control. The surety which is in the form of a performance bond from the developer is as follows:

Agent: Aspen American Insurance Company  
Date: April 27, 2017  
Number: SU14934  
For: Erosion Control  
Amount: \$51,487.20  
HCDB-2017-00030

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for Pebble Brook Villas as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for March 26, 2018.



Kenyon C. Ward, CFM  
Hamilton County Surveyor

KCW/stc

(Revised 06/08/04)

STATE OF INDIANA )  
 )  
COUNTY OF HAMILTON )

**FILED**

**FEB 22 2017**

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD  
% Hamilton County Surveyor  
One Hamilton County Square, Suite 188  
Noblesville, IN. 46060-2230

In the matter of Pebble Brook Villas Subdivision, Section  
1 Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Pebble Brook Villas, Section 1, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

Adobe PDF Ffillable Form

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

**RECORDED OWNER(S) OF LAND INVOLVED**

Timothy J. Walter  
Signed

Timothy J. Walter  
Printed Name

2/15/17  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date



FINDINGS AND ORDER

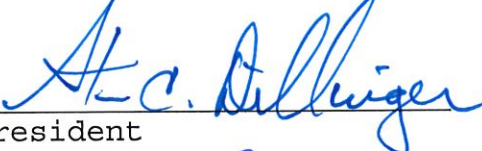
CONCERNING THE MAINTENANCE OF THE

Sly Run Drain, Pebble Brook Villas Arm

On this 26<sup>th</sup> day of March, 2018, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Sly Run Drain, Pebble Brook Villas Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD

  
\_\_\_\_\_  
President

  
\_\_\_\_\_  
Member

  
\_\_\_\_\_  
Member

Attest:   
Executive Secretary



**STOEPPELWERTH**

ALWAYS ON

ofc: 317.849.5935  
fax: 317.849.5942

7965 East 106th Street  
Fishers, IN 46038-2505  
www.stoepfelwerth.com

April 27, 2017

Hamilton County Surveyor  
One Hamilton County Square, Suite 188  
Noblesville, Indiana 46060

Attention: Steve Cash

Re: Pebblebrook Villas

Dear Mr. Cash:

On behalf of the developer, please accept this Engineer's Estimate for Pebblebrook Villas. The estimate is as follows:

Item	Unit	Unit Cost	Quantities	Cost
<b>STORM SEWERS</b>				
<b>On-site Mains, Structures &amp; Backfill</b>				
12" Pipe	LF	\$ 23	2188	\$ 51,136
12" End Section	EA	\$ 1,330	9	\$ 11,970
12" Trash Guard	EA	\$ 713	6	\$ 4,278
15" Pipe	LF	\$ 31	720	\$ 22,180
15" End Section	EA	\$ 2,064	5	\$ 10,322
15" Trash Guard	EA	\$ 708	5	\$ 3,540
18" Pipe	LF	\$ 35	246	\$ 8,487
18" End Section	EA	\$ 1,404	1	\$ 1,404
18" Trash Guard	EA	\$ 772	1	\$ 772
21" Pipe	LF	\$ 40	335	\$ 13,300
24" Pipe	LF	\$ 46	348	\$ 15,888
24" End Section	EA	\$ 1,750	1	\$ 1,750
24" Trash Guard	EA	\$ 885	1	\$ 885
42" Pipe	LF	\$ 98	20	\$ 1,950
42" End Section	EA	\$ 3,142	2	\$ 6,284
42" Trash Guard	EA	\$ 1,305	1	\$ 1,305
Standard Storm Manholes	EA	\$ 2,192	12	\$ 26,304
Large Storm Manholes & Double Inlets	EA	\$ 2,700	8	\$ 21,600
Storm Inlets	EA	\$ 1,600	11	\$ 17,600
Pond Outlet	EA	\$ 1,660	2	\$ 3,320
Rip Rap	TON	\$ 42	40	\$ 1,680
Backfill	TON	\$ 16	1371	\$ 21,593
				\$ 247,546
<b>Subsurface Drains</b>				
SSD - under curb	LF	\$ 9	480	\$ 4,152
SSD - in swales	LF	\$ 8	2,910	\$ 22,844
SSD - risers	EA	\$ 406	7	\$ 2,842
				\$ 29,838
<b>Total</b>				<b>\$ 277,384</b>

**LAND DEVELOPMENT SUPPORT SOLUTIONS**

ENGINEERING | SURVEYING



Noblesville Dept. of Engineering  
 Brian Gray  
 April 21, 2017  
 Page 2 of 2

EROSION AND SEDIMENT CONTROL						
Erosion Control Blanket	SF	\$	0	93,200	\$	12,116
Temp Seeding - Pads	AC	\$	1,200	9.90	\$	11,880
Permanent Seeding - Curbs	SF	\$	0	90,400	\$	4,294
Permanent Seeding	SF	\$	0	76,100	\$	4,414
Basket Inlet Protection	EA	\$	75	14.00	\$	1,050
Drop Curb Inlet Protection	EA	\$	160	17.00	\$	2,720
Silt Fence	LF	\$	1	5,360.00	\$	6,432
			<b>Total</b>		\$	<b>42,906</b>
MONUMENTS AND MARKERS						
Centerline Monuments	EA	\$	150	12.00	\$	1,800
Concrete Monuments	EA	\$	338	4.00	\$	1,350
			<b>Total</b>		\$	<b>1,800</b>
<b>GRAND TOTAL</b>						<b>\$322,089.60</b>

If you have any questions, please give Brett Huff a call at (317) 570-4841. Witness my signature this April 27, 2017.



David J. Stoepfelwerth, P.E.  
 Professional Engineer  
 No. 19358



Cc: Tim Walsh  
 BAH/meb

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COPY

FILED

MAY 15 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

**SUBDIVISION IMPROVEMENTS  
PERFORMANCE BOND**

HCD B-2017-00030  
BOND NO. SU14934

KNOW ALL MEN BY THESE PRESENTS:

THAT we Platinum Properties Management Company, LLC, 9757 Westpoint Drive, Suite 600, Indianapolis, IN 46256 as Principal, and Aspen American Insurance Company, 175 Capitol Boulevard, Suite 103, Rocky Hill, CT 06067, a corporation organized and doing business and under and by virtue of the laws of the State of Texas as Surety, are held and firmly bound unto Hamilton County Surveyors Office, One Hamilton County Square, Noblesville, IN 46060 as Obligee, in the sum of Fifty-one Thousand Four Hundred Eighty-seven And 20/100THS (\$51,487.20) Dollars, for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

WHEREAS, the above named Principal, has agreed to construct in the following improvements:

Pebble Brook Villas - Erosion Control

NOW, THEREFORE, the condition of this obligation is such, that if the above Principal shall well and truly perform said agreement or agreements during the original term thereof or of any extension of said term that may be granted by the Obligee with or without notice to the Surety, this obligation shall be void, otherwise it shall remain in full force and effect.

IN WITNESS WHEREOF, the seal and signature of said Principal is hereto affixed and the corporate seal and the name of the said Surety is hereto affixed and attested by its duly authorized Attorney-in-Fact, this 27th day of April, 2017.

Platinum Properties Management Company, LLC  
Principal

BY: [Signature]

Aspen American Insurance Company

BY: [Signature]

Brenda K. Johnston, Attorney-in-Fact



COPY



Aspen American Insurance Company  
175 Capital Boulevard, Rocky Hill, CT 06067

### POWER OF ATTORNEY

KNOW ALL PERSONS BY THESE PRESENTS, THAT Aspen American Insurance Company, a corporation duly organized under the laws of the State of Texas, and having its principal offices in Rocky Hill, Connecticut, (hereinafter the "Company") does hereby make, constitute and appoint: Michael M. Bill; Mark B. Jones; Michael Joseph Marsella; Cynthia L. Jenkins; Sheree Kuo Hsieh; Brenda K. Johnston; Laurina Reynolds of MJ Insurance its true and lawful Attorney(s)-in-Fact, with full power and authority hereby conferred to sign, execute and acknowledge on behalf of the Company, at any place within the United States, the following instrument(s) by his/her sole signature and act; any and all bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking and any and all consents incident thereto, and to bind the Company thereby as fully and to the same extent as if the same were signed by the duly authorized officers of the Company. All acts of said Attorney(s)-in-Fact done pursuant to the authority herein given are hereby ratified and confirmed.

This appointment is made under and by authority of the following Resolutions of the Board of Directors of said Company effective on April 7, 2011, which Resolutions are now in full force and effect;

**VOTED:** All Executive Officers of the Company (including the President, any Executive, Senior or Assistant Vice President, any Vice President, any Treasurer, Assistant Treasurer, or Secretary or Assistant Secretary) may appoint Attorneys-in-Fact to act for and on behalf of the Company to sign with the Company's name and seal with the Company's seal, bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said Executive Officers at any time may remove any such appointee and revoke the power given him or her.

**VOTED:** The foregoing authority for certain classes of officers of the Company to appoint Attorneys-in-Fact by virtue of a Power of Attorney to sign and seal bonds, recognizances, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, as well as to revoke any such Power of Attorney, is hereby granted specifically to the following individual officers of Aspen Specialty Insurance Management, Inc.:

Michael Toppl, Executive Vice President, Scott Sadowsky, Senior Vice President, James Merleier, Senior Vice President, Mathew Raino, Vice President, Scott Mandeville, Vice President and Ryan Field, Assistant Vice President.

This Power of Attorney may be signed and sealed by facsimile (mechanical or printed) under and by authority of the following Resolution voted by the Boards of Directors of Aspen American Insurance Company, which Resolution is now in full force and effect:

**VOTED:** That the signature of any of the Officers identified by title or specifically named above may be affixed by facsimile to any Power of Attorney for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any and all consents incident thereto, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company. Any such power so executed and certified by such facsimile signature and/or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking so executed.


IN WITNESS WHEREOF, Aspen American Insurance Company has caused this instrument to be signed and its corporate seal to be hereto affixed this 22nd day of November, 2011.

Aspen American Insurance Company

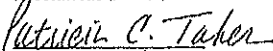
STATE OF CONNECTICUT

SS. ROCKY HILL

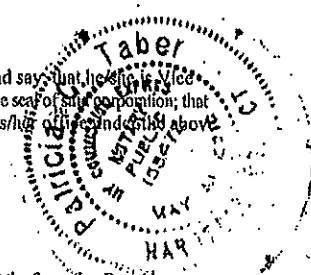
COUNTY OF HARTFORD

  
Mathew Raino, Vice President

On this 22<sup>nd</sup> day of November, 2011 before me personally came Mathew Raino to me known, who being by me duly sworn, did depose and say that he/she is Vice President, of Aspen American Insurance Company, the Company described in and which executed the above instrument; that he/she knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; and that he/she executed the said instrument on behalf of the Company by authority of his/her office as indicated above Resolutions thereof.

  
Patricia C. Taber  
Notary Public

My commission expires: 5/31/2016.

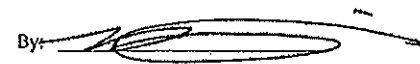


### CERTIFICATE

I, the undersigned, Mathew Raino of Aspen American Insurance Company, a stock corporation of the State of Texas, do hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked; and furthermore, that the Resolutions of the Boards of Directors, as set forth above, are now and remain in full force and effect.

Given under my hand and seal of said Company, in Rocky Hill, Connecticut, this 27th day of April, 2017.



By: 

Name: Mathew Raino, Vice President

\* For verification of the authenticity of the Power of Attorney you may call (860) 760-7728 or email: Patricia.Taber@aspenspecialty.com

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD  
IN THE MATTER OF

*Sly Run Drain, Pebble Brook Villas Arm*

NOTICE

To Whom It May Concern and: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Sly Run Drain, Pebble Brook Villas Arm** on **March 26, 2018 at 9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD  
IN THE MATTER OF THE

Sly Run Drain, Pebble Brook Villas Arm

NOTICE

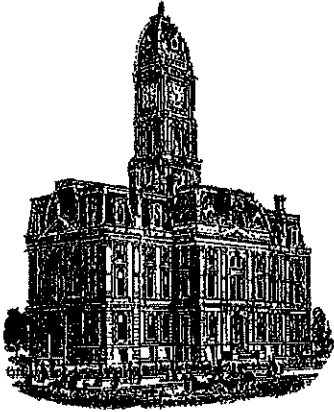
Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **March 26, 2018** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY





*Kenton C. Ward, CFM*  
*Surveyor of Hamilton County*  
 Phone (317) 776-8495  
 Fax (317) 776-9628

*Suite 188*  
*One Hamilton County Square*  
*Noblesville, Indiana 46060-2230*

**To: Hamilton County Drainage Board**

**September 5, 2018**

**Re: Sly Run- Pebble Brook Drain: Pebble Brook Villas**

Attached are as-built, certificate of completion & compliance, and other information for Pebble Brook Villas. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.


During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated February 2, 2018. The report was approved by the Board at the hearing held March 26, 2018. (See Drainage Board Minutes Book 18, Pages 76-78) The changes are as follows: the 12" RCP was shortened from 2,149 feet to 2,129 feet. The 15" RCP was lengthened from 700 feet to 702 feet. The 18" RCP was shortened from 246 feet to 241 feet. The 21" RCP was lengthened from 335 feet to 336 feet. The 24" RCP was shortened from 348 feet to 345 feet. The 6" SSD was lengthened from 2,688 feet to 3,519 feet. The open ditch was lengthened from 445 feet to 452 feet. The length of the drain due to the changes described above is now **7,724 feet**.

The non-enforcement was approved by the Board at its meeting on August 13, 2018 and recorded under instrument #2018040918. The following sureties were guaranteed by Aspen American Insurance Company and released by the Board on its March 26, 2018 meeting.

Bond-LC No: SU14934  
 Amount: \$51,487.20  
 For: Storm Sewers & SSD  
 Issue Date: April 27, 2017

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



---

Kenton C. Ward, CFM  
Hamilton County Surveyor



STOEPPELWERTH

ALWAYS ON

ofc: 317.849.5935  
fax: 317.849.5942

7965 East 106th Street  
Fishers, IN 46038-2505  
www.stoepfelwerth.com

**CERTIFICATE OF COMPLETION AND COMPLIANCE**

To: Hamilton County Surveyor

Re: Pebble Brook Villas

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature:  Date: December 18, 2017

Type or Print Name: Dennis D. Olmstead

Business Address: Stoepfelwerth & Associates, Inc.

7965 East 106<sup>th</sup> Street, Fishers, Indiana 46038

Telephone Number: (317) 849-5935

SEAL

INDIANA REGISTRATION NUMBER



900012 **FILED**

**DEC 29 2017**

OFFICE OF HAMILTON COUNTY SURVEYOR

**LAND DEVELOPMENT SUPPORT SOLUTIONS**

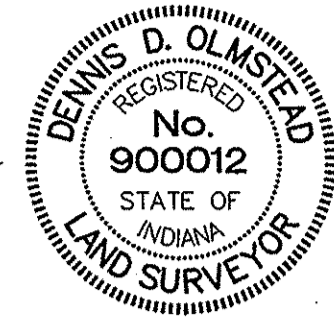
ENGINEERING | SURVEYING



# RECORD DRAWING

# PEBBLE BROOK VILLAS

Dennis D. Olmstead  
Registered Land Surveyor  
No. 900012  
12/12/2017



**Electric:**  
Duke Energy  
Jessica Herrington  
100 South Mill Creek Road  
Noblesville, Indiana 46060  
(317) 776-5365  
jessica.herrington@duke-energy.com

**Sanitary & Water:**  
Citizens Water and Wastewater of Westfield, LLC  
C/O HNTB  
2150 Dr. Martin Luther King Jr. Street  
Indianapolis, Indiana 46202  
Contact: Brandon Carter  
Ph: (317) 263-6456

**Cable:**  
Metronet  
330 E. Main Street  
Westfield, Indiana 46074  
(317) 763-1012

**Storm Sewer:**  
City of Noblesville  
Department of Engineering  
16 South 10th Street, Suite 155  
Noblesville, Indiana 46060  
Ph: (317) 776-6330

**Fiber Optic:**  
McLeod USA  
6400 C Street SW  
P.O. Box 3177  
Cedar Rapids, IA 52406  
Ph: (317) 697-2863

**Streets:**  
City of Noblesville  
Department of Engineering  
16 South 10th Street, Suite 155  
Noblesville, Indiana 46060  
Ph: (317) 776-6330

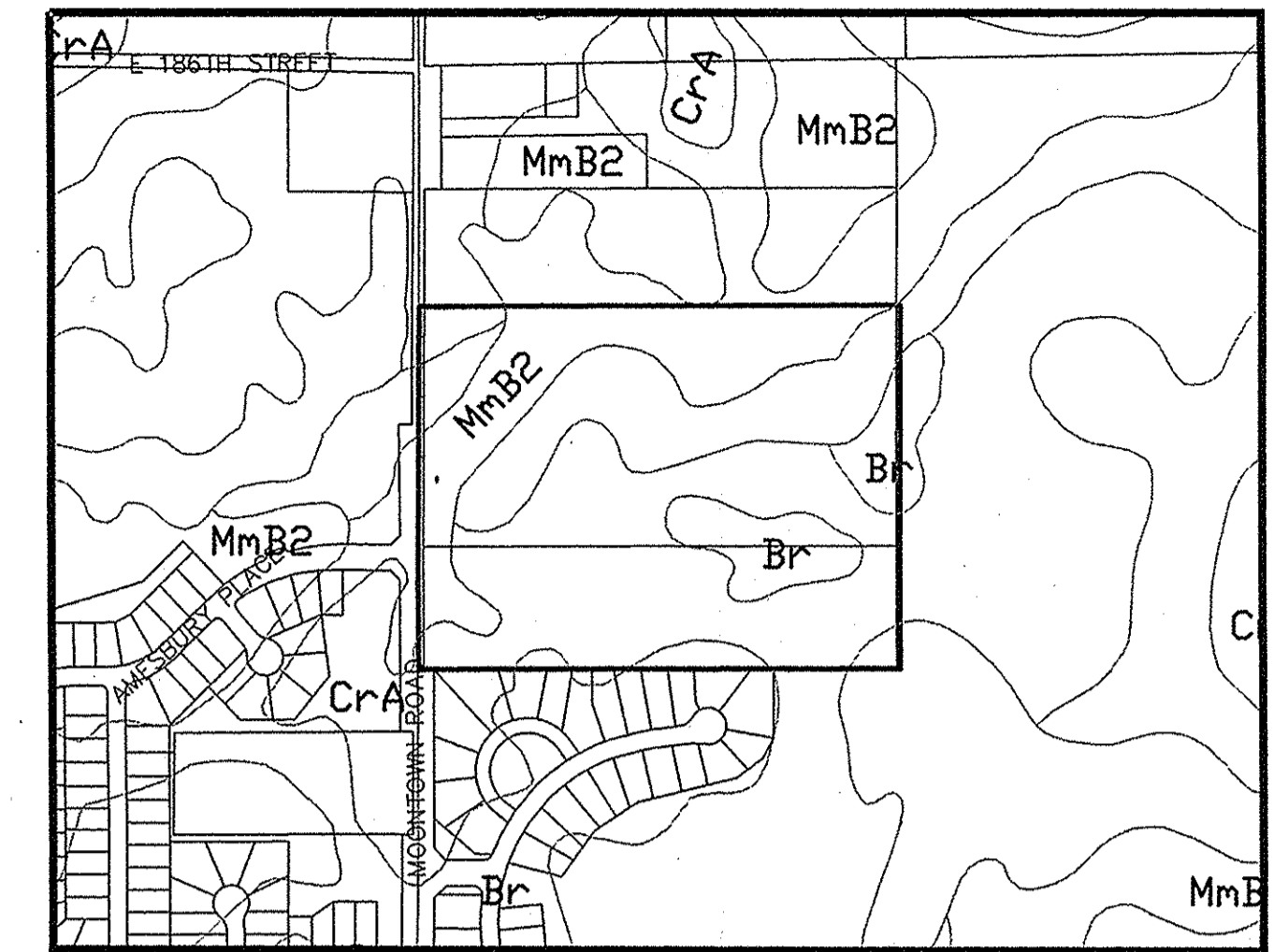
**Gas:**  
Vectren Energy  
Cathy Misses  
16000 Allisonville Road  
Noblesville, Indiana 46060  
(317) 776-5537  
cmisess@vectren.com

**Telephone:**  
AT&T - Engineering  
240 N. Meridian St., 2nd Floor  
Room 208  
Indianapolis, Indiana 46204  
Ph: (317) 252-4267  
Attn: Brian Peters

**Developed by:**  
**PEBBLE BROOK VILLAS DEVELOPER, LLC**  
**by PLATINUM PROPERTIES MANAGEMENT COMPANY, LLC**  
**9757 Westpoint Drive Suite 600**  
**Indianapolis, Indiana 46256**  
**Phone: (317) 564-7301**  
**Contact Person: Tim Walsh**

**DESIGN DATA**  
46 LOTS                      88 Units  
30.619 AC.                      = 1.50 LOTS/ACRE

STREET INVENTORY (by segments)		
STREET	SEGMENT	CL LENGTH
AMESBURY PLACE	0+00 - 12+10.05	1210.06
ELDON WAY	12+10.06 - 26+03.40	1393.34
TOTAL		2,603.40



Br - Brookston silty clay loam

Br-Brookston silty clay loam

This poorly drained soil has a seasonal high water table above the surface or within 1.0 ft. and is in depressions. Slopes are 0 to 2 percent. The native vegetation is water tolerant grasses and hardwoods. The surface layer is silty clay loam and has moderate to high organic matter content (2.0 to 5.0 percent). Permeability is moderately slow (0.2 to 0.6 in/hr) in the most restrictive layer above 60 inches. Available water capacity is high (10.0 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 6.1 to 7.3. This soil is hydric. Wetness is a management concern for crop production. This soil responds well to tile drainage.

MmB2-Miami silt loam, 2 to 6 percent slopes, eroded

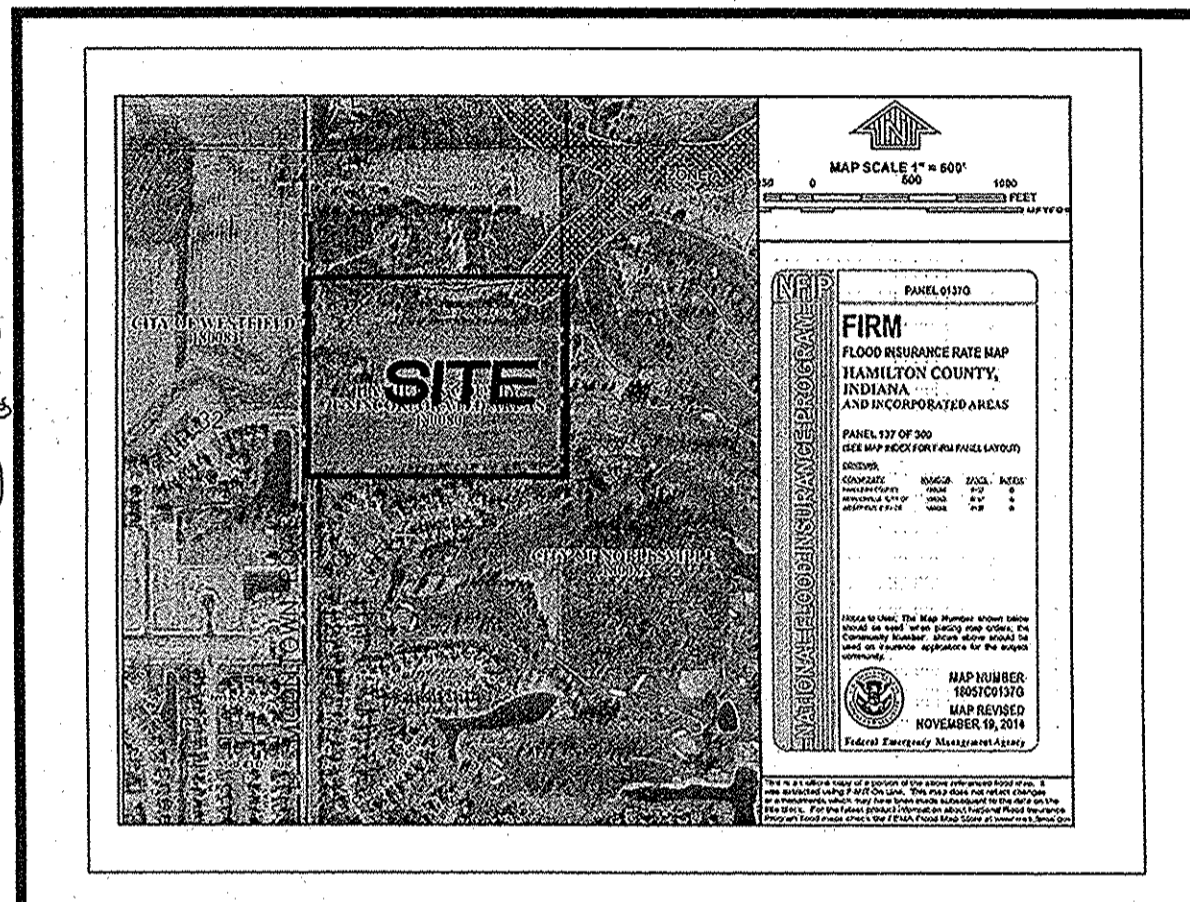
MmB2-Miami silt loam, 2 to 6 percent slopes, eroded

This moderately well drained soil has a seasonal high water table at 2.0 to 3.5 ft. and is on sideslopes and rises on uplands. Slopes are 2 to 6 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low organic matter content (1.0 to 2.0 percent). Permeability is very slow (<0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is low (5.9 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and water erosion are management concerns for crop production.

Map Unit: CrA - Crosby silt loam, 0 to 2 percent slopes

CrA - Crosby silt loam, 0 to 2 percent slopes

This is a somewhat poorly drained soil and has a seasonal high water table at 0.5 to 2.0 ft. and is on rises on uplands. Slopes are 0 to 2 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low to moderate organic matter content (1.0 to 3.0 percent). Permeability is very slow (<0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is moderate (6.2 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and wetness are management concerns for crop production. This soil responds well to tile drainage.



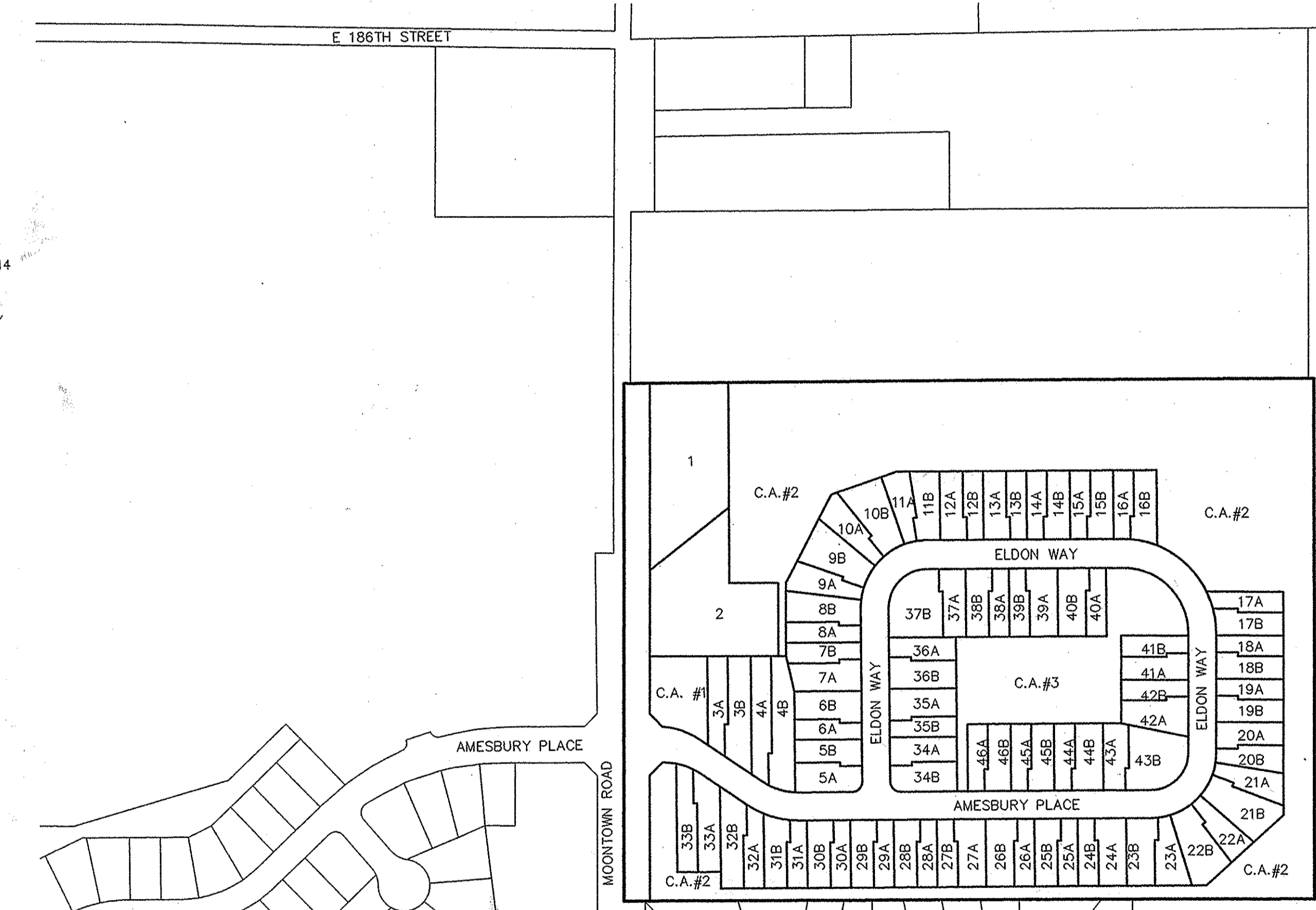
**FLOOD STATEMENT**  
THIS SITE DOES NOT LIE WITHIN A ZONE "A"  
PER FIRM 18057C0137G DATED NOV. 19, 2014  
BASED ON THE FEMA BASE FLOOD  
ELEVATION FOR THIS AREA, THERE WILL BE  
NO POTENTIAL FLOODING OF THIS PROPERTY  
VIA OUTFALL OR STORM PIPING SYSTEMS.

THERE ARE NO WETLANDS  
IMPACTED BY THE PROPOSED  
PLANS

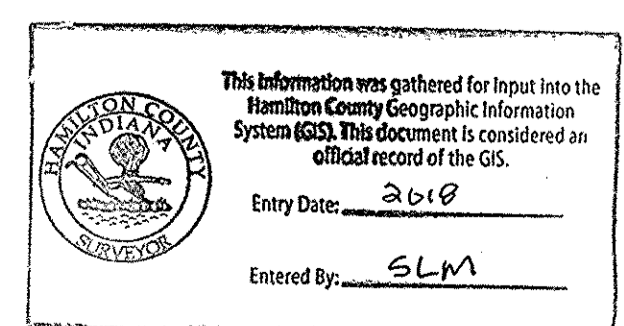
INDEX	
SHT.	DESCRIPTION
C001	COVER SHEET
C100-C101	TOPOGRAPHICAL SURVEY
C200-C202	SITE DEVELOPMENT PLAN EMERGENCY FLOOD ROUTING PLAN
C300-C308	INITIAL STORM WATER POLLUTION & PREVENTION PLAN TEMPORARY STORM WATER POLLUTION & PREVENTION PLAN PERMANENT SEDIMENT & EROSION CONTROL PLAN STORM WATER POLLUTION & PREVENTION SPECIFICATIONS STORM WATER POLLUTION & PREVENTION DETAILS
C400-C405	STREET PLAN & PROFILES ENTRANCE DETAIL SIGNAGE PLAN MAINTENANCE OF TRAFFIC PLAN PAVEMENT MARKING PLAN
C500-C504	SANITARY SEWER PLAN & PROFILE FORCEMAIN PLAN & PROFILE
LS1-LS2 E1-E3 IC1-IC3	LIFT STATION PLAN AND DETAILS
C600-C605	STORM SEWER PLAN & PROFILES SUB-SURFACE DRAIN PLAN
C700-C702	WATER PLAN
C800-C801	CONSTRUCTION DETAILS
C900-C902 C910	LANDSCAPE PLAN

NOBLESVILLE DETAILS INDEX	
SHT.	DESCRIPTION
1	DIRECTIONS FOR USE, & GENERAL NOTES
2	RIGHT-OF-WAY & UTILITY ESMT. GUIDELINES
3	PAVEMENT, CURB & SIDEWALK DETAILS AND NOTES
4	STORM SEWER BEDDING DETAILS AND NOTES
5	STORM SEWER MANHOLES, INLETS, & GENERAL NOTES
6	SANITARY SEWER BEDDING DETAILS AND NOTES
7	SANITARY SEWER DETAILS AND NOTES
8	MISCELLANEOUS DETAIL AND NOTES I
9	SIGN, DRIVEWAY, AND DECORATIVE SIDEWALK DETAILS
10	MISCELLANEOUS DETAILS AND NOTES III
11	STREET CUT DETAILS
12	STREET LIGHTING & TRAFFIC SIGNAL STANDARDS, DETAILS AND NOTES
13	LANDSCAPE PLANTING AND SEEDING DETAILS AND GENERAL NOTES

REVISIONS		
SHT.	DESCRIPTION	DATE
ALL	ASBUILTS	12/11/17 JAW



A part of the Northwest Quarter of Section 33, Township 19 North, Range 4 East, Noblesville Township, Hamilton County, Indiana, more particularly described as follows:  
Commencing at the Northwest corner of said Quarter Section; thence South 00 degrees 15 minutes 33 seconds West 1,176.97 feet along the West line of said Quarter Section to the POINT OF BEGINNING of this description; thence North 89 degrees 37 minutes 49 seconds East 1,336.30 feet; thence South 00 degrees 09 minutes 34 seconds West 1,600.13 feet; thence South 89 degrees 51 minutes 36 seconds West 1,338.11 feet; thence North 00 degrees 15 minutes 38 seconds East 994.78 feet to the place of beginning, containing 30.619 acres, more or less.



SANITARY SEWER STRUCTURE		
MANHOLE	DEPTH	NUMBER
TYPE "A"	6'-8"	1
TYPE "A"	8'-10"	6
TYPE "A"	10'-12"	12
TYPE "A"	18'-20"	1
TOTAL		20

SANITARY SEWER PIPE			
PIPE	DEPTH	LENGTH	
8" PVC SDR 35	6'-8"	74 L.F.	
8" PVC SDR 35	8'-10"	1,558 L.F.	
8" PVC SDR 35	10'-12"	887 L.F.	
TOTAL		2,519 L.F.	

EROSION CONTROL	
PERM SEEDING	336 Ac
TEMP SEEDING	14.71 Ac
EROS BLANKET	2.17 Ac
TOTAL	20.24 Ac

STORM SEWER STRUCTURE		
INLET	DEPTH	NUMBER
TYPE "A"	2'-4"	2
TYPE "A"	4'-0"	6
DOUBLE INLET	4'-0"	2
DOUBLE INLET	6'-8"	3
TYPE "C"	4'-0"	9
TYPE "C"	6'-8"	7
TYPE "C"	8'-10"	2
CUSTOM	4'-0"	2
TOTAL		33

STORM SEWER PIPE		
PIPE	DEPTH	LENGTH
12" RCP Type 3	2'-4"	32 L.F.
12" RCP Type 3	4'-0"	1,711 L.F.
12" RCP Type 3	6'-8"	386 L.F.
15" RCP Type 3	4'-0"	197 L.F.
15" RCP Type 3	6'-8"	374 L.F.
15" RCP Type 3	10'-12"	131 L.F.
18" RCP Type 3	6'-8"	241 L.F.
21" RCP Type 3	4'-0"	55 L.F.
21" RCP Type 3	6'-8"	281 L.F.
24" RCP Type 3	6'-8"	345 L.F.
TOTAL		3,753 L.F.

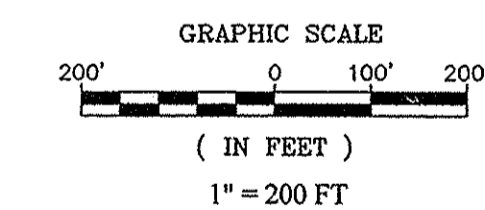
SUB-SURFACE DRAIN			
PIPE	DEPTH	LENGTH	
6" HDPE Type SSD	2'-4"	3,765 L.F.	
TOTAL		3,765 L.F.	

SIDEWALK INVENTORY	
SIZE	LENGTH
FULLY DEVELOPED	5,200 L.F.

CURB	
TYPE	LENGTH
ROLL CURB	5,213 L.F.

REGULARITY SIGNS	
TYPE	NUMBER
STOP SIGN	2
STREET SIGN	3
SPEED LIMIT SIGN	4
TOTAL	9

STREET LIGHTING	
TYPE	NUMBER
City Std. Decorative	2



THE CITY OF NOBLESVILLE STANDARDS FOR PUBLIC INFRASTRUCTURE CONSTRUCTION SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS, IN THE EVENT THAT CONFLICTING STANDARDS OCCUR, THE FOLLOWING ORDER OF PRECEDENCE SHALL GOVERN.

- A. CITY OF NOBLESVILLE STANDARDS
- B. INDIANA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATION
- C. TEN STATE STANDARDS
- D. PROJECT SPECIFIC PROVISIONS
- E. ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS.

NO ALTERNATE SPECIFICATIONS OR MATERIALS OR NEW MATERIALS MAY BE USED WITHOUT THE EXPRESS WRITTEN APPROVAL FROM THE CITY OF NOBLESVILLE PRIOR TO THE COMPLETION OF THE WORK.

DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED TO COMPLY WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.

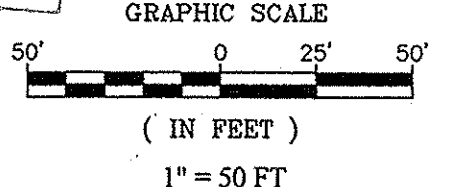
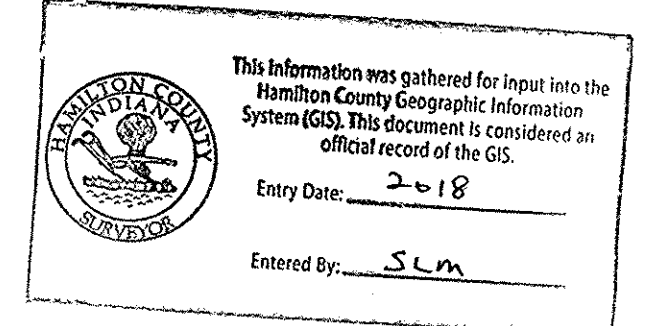
**PLANS PREPARED BY:**  
**STOEPPELWERTH & ASSOCIATES, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
7965 EAST 106TH STREET  
FISHERS, INDIANA 46038  
PHONE: (317)-849-5935  
FAX: (317)-849-5942  
CONTACT PERSON: BRETT A. HUFF  
EMAIL: bhuff@stoepfelwerth.com

**PLANS CERTIFIED BY:**  
*David J. Stoepfelwerth* 11/30/2016  
DAVID J. STOEPPELWERTH  
PROFESSIONAL ENGINEER  
NO. 19358





- LEGEND**
- - - - - EXISTING CONTOUR
  - - - - - EXISTING SANITARY SEWER
  - - - - - EXISTING STORM SEWER
  - PROPOSED GRADE
  - - - - - PROPOSED CONTOUR
  - - - - - PROPOSED SANITARY SEWER
  - - - - - PROPOSED FORCE MAIN
  - - - - - PROPOSED STORM SEWER
  - - - - - PROPOSED WATER LINE
  - - - - - PROPOSED SWALE
  - - - - - PROPOSED 5' SIDEWALK (BY HOME BUILDER)  
(DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
- 25  
847.9  
20' 20'
- MFF 790.5** MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW  
1. (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.  
2. 15" (1.25') ABOVE THE ROAD ELEVATION  
3. 6" (0.5') ABOVE THE MLAG
- MLAG 795.5** MINIMUM LOWEST ADJACENT GRADE (FLOOD PROTECTION)
- M.E.** DENOTES MATCH EXISTING GRADE
- 852.25 DENOTES BASE FLOOD ELEVATION
- D.U.&S.S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT  
D.U.E. DRAINAGE & UTILITY EASEMENT  
R.D.E. REGULATED DRAINAGE EASEMENT  
L.M.A.E. LANDSCAPE, MAINTENANCE ACCESS EASEMENT  
S.S.E. SANITARY SEWER EASEMENT  
D.E. DRAINAGE EASEMENT  
B.L. BUILDING SETBACK LINE  
P.A.E. PEDESTRIAN ACCESS EASEMENT  
U.E. UTILITY EASEMENT  
V.W. VARIABLE WIDTH  
R/W. RIGHT OF WAY  
C.A. COMMON AREA  
B.M.P.E. BEST MANAGEMENT PRACTICE EASEMENT



- NOTES:**
- THIS SUBDIVISION MEETS A.D.A. REQUIREMENTS AND SUBDIVISION CODE STANDARDS.
  - ALL OFF-SITE AND EXISTING DRAIN TILES SHALL BE TIED INTO THE PROPOSED STORM SYSTEM OF THIS SECTION (WHERE APPLICABLE).
  - ALL PADS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
  - LOWEST OPENINGS OF HOMES MUST BE AT LEAST 2 FEET ABOVE THE 100 YEAR POOL ELEVATION OF THE NEAREST POND.
  - CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
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  - CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB OF THE ROAD PERPENDICULAR TO THE LATERAL MARKER.
  - IT IS RECOMMENDED THAT ANY BASEMENT FLOOR IS AT LEAST A FOOT ABOVE THE NORMAL POOL ELEVATION TO AVOID THE OVERUSE OF SUMP PUMPS AND POTENTIAL FREQUENT FLOODING OF BASEMENTS.
  - ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.
  - SEE NOBLESVILLE STANDARD DETAILS (SHEET 5) FOR SWALE SPECIFICATIONS.
  - SEE NOBLESVILLE STANDARD DETAILS (SHEET 10) FOR LATERAL TO THE REAR YARD SWALE SPECIFICATIONS.
  - THE BUILDINGS LOWEST ENTRY ELEVATION THAT IS ADJACENT TO AND FACING A ROAD SHALL BE A MINIMUM OF 15" ABOVE THE ROAD ELEVATION.
  - NOTE TO HOME BUILDER: REAR YARD SLOPES SHALL NOT EXCEED 3:1 SLOPE FROM MIDDLE OF PAD TO SWALE. NO HOME OR HOME ADDITION SUCH AS PATIOS, FIRE PLACE, STOOP (ETC.) SHALL BE PLACED BEYOND THE EXTENT OF THE PAD ON LOTS OR IN AREAS WHERE A 3:1 SLOPE CANNOT BE MAINTAINED TO REAR SWALE.
  - SEE SHEETS C603-C604 FOR SUB SURFACE DRAIN INFORMATION.

- EARTHWORK:**
- EXCAVATION**
    - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
    - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
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    - All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
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    - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
    - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
  - REMOVAL OF TOPSOIL**
    - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
  - UTILITIES**
    - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
    - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
  - SITE GRADING**
    - Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
    - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
    - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.

**FORMEARTHWRK**

**811**  
Know what's below.  
Call before you dig.

**IUPPS Dig Safely**  
Indiana Underground Plant Protection Service

**RECORD DRAWING**

*D.D.O.*  
Dennis D. Olmstead  
Registered Land Surveyor  
No. 900012  
12/12/2017

File Name: S:\75875PLA-STUDY\C200\_Site Development.dwg - C200  
December 12, 2017 4:31:23 PM / Jennifer Willis  
Printed By:

**STOEPPELWIRTH**  
ALWAYS ON  
7945 East 100th Street, Fishers, IN 46038-2505  
phone: 317.849.5942 fax: 317.849.5942

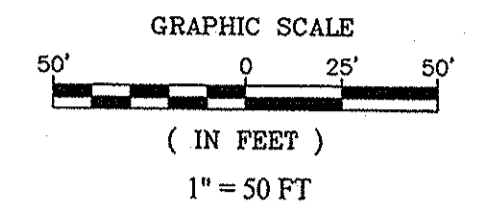
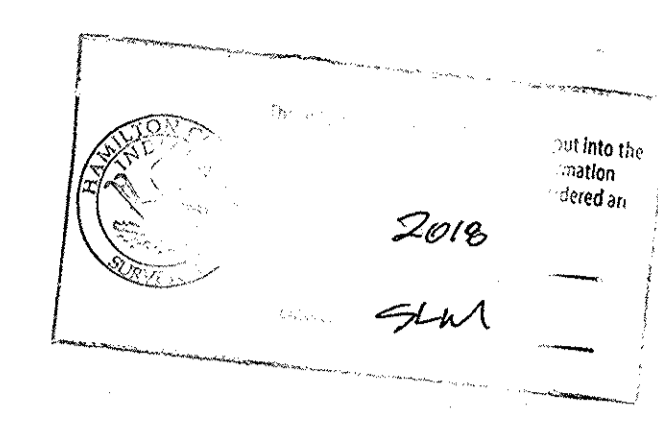
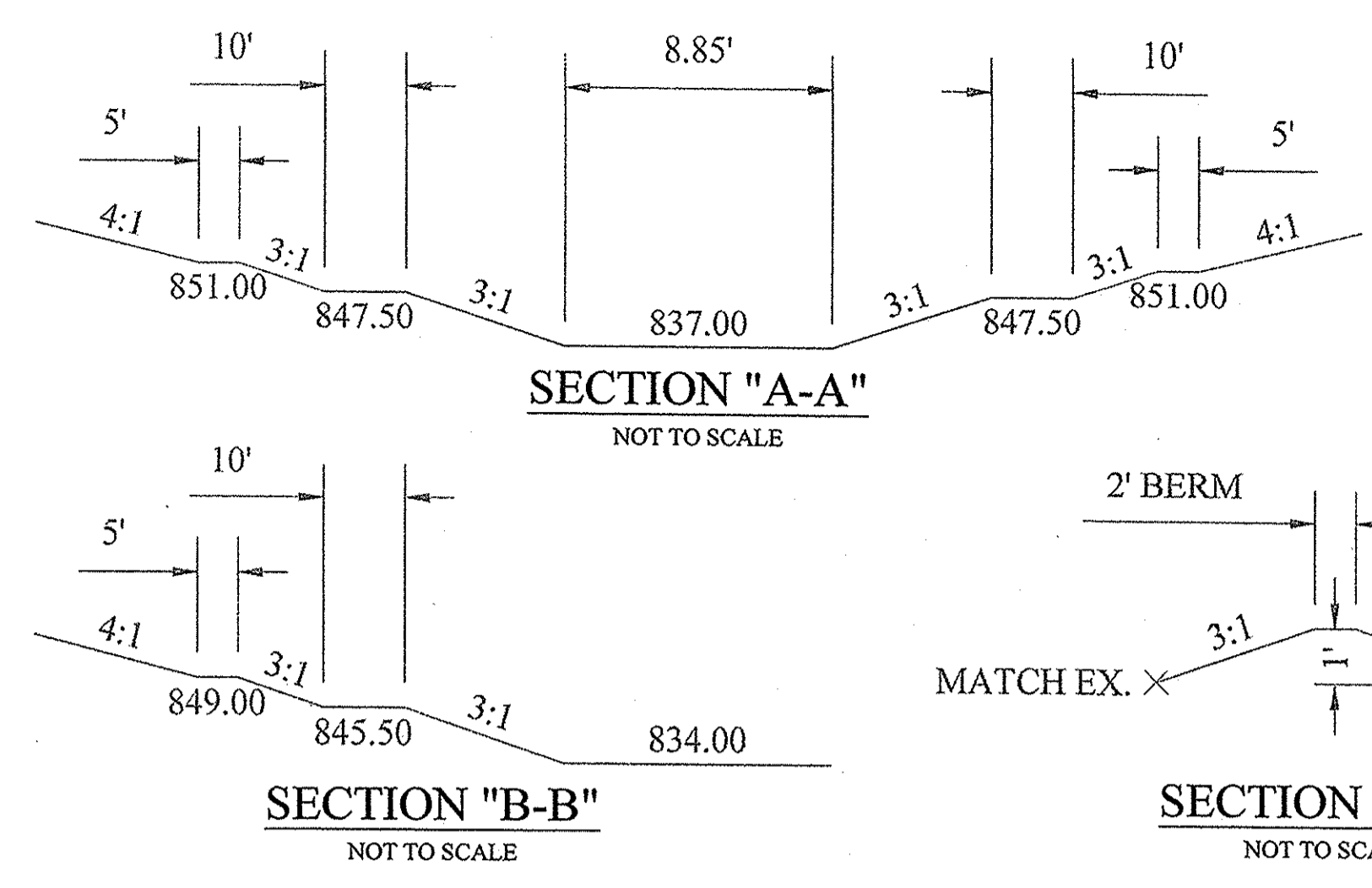
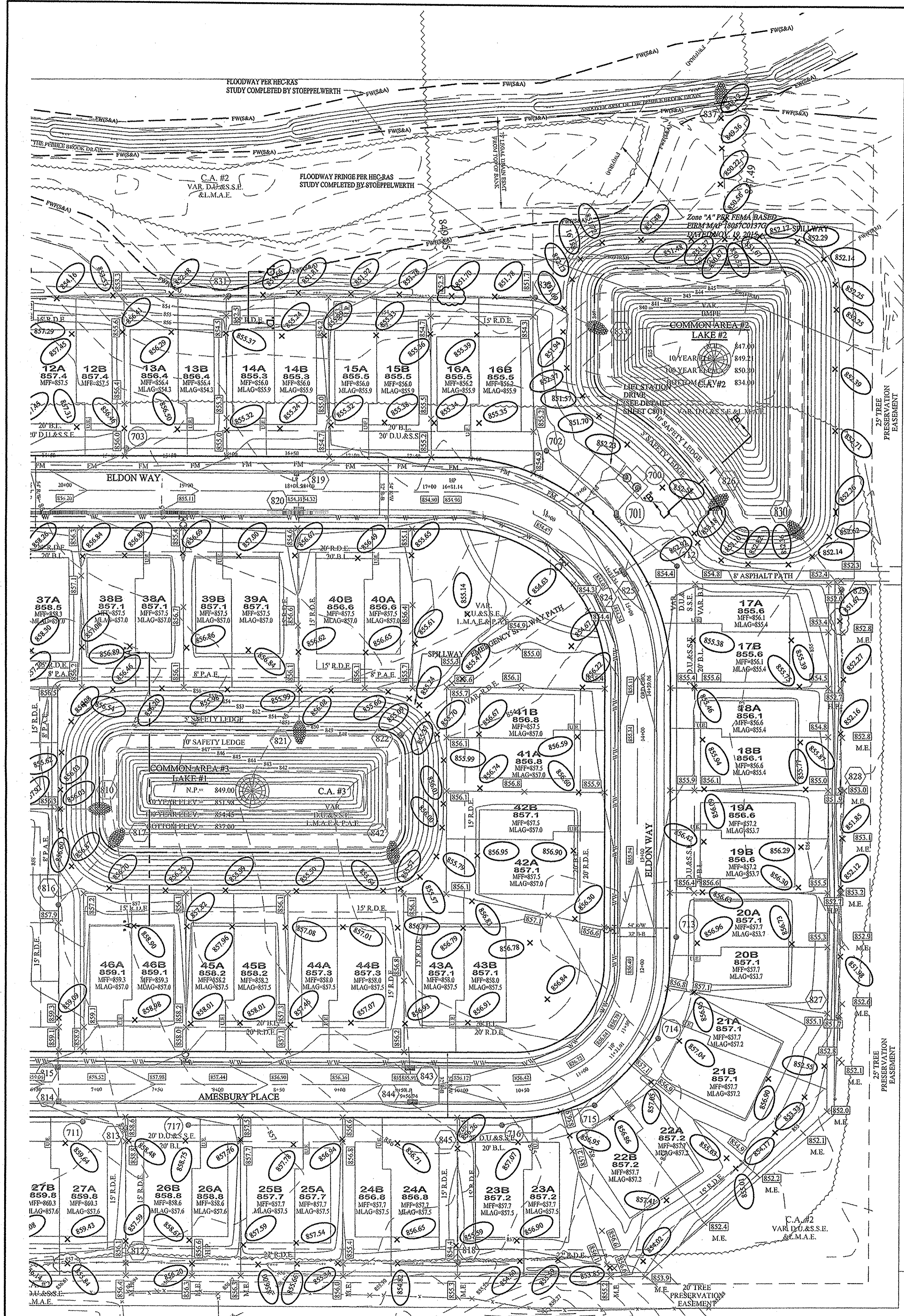
**SITE DEVELOPMENT PLAN**  
PEBBLE BROOK VILLAS  
HAMILTON COUNTY, INDIANA  
NOBLESVILLE, WAYNE TOWNSHIP

DRAWN BY: JSM  
CHECKED BY: BAH  
SHEET NO: C200  
S.A. JOB NO: 75875PLA-S1

REVISIONS:

NO.	DATE	MARK	REVISIONS
1	02/01/18		ADDED LEGAL DRAIN & FW ZONE A
2	02/01/18		ADD REC HAS FLOOD LINES
3	02/01/18		REVISED PER CLIENT CHANGES
4	02/01/18		ASBUILTS
5	12/04/17		JAW





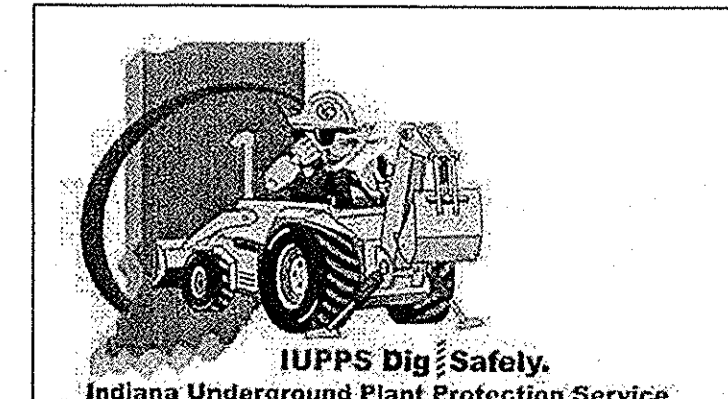
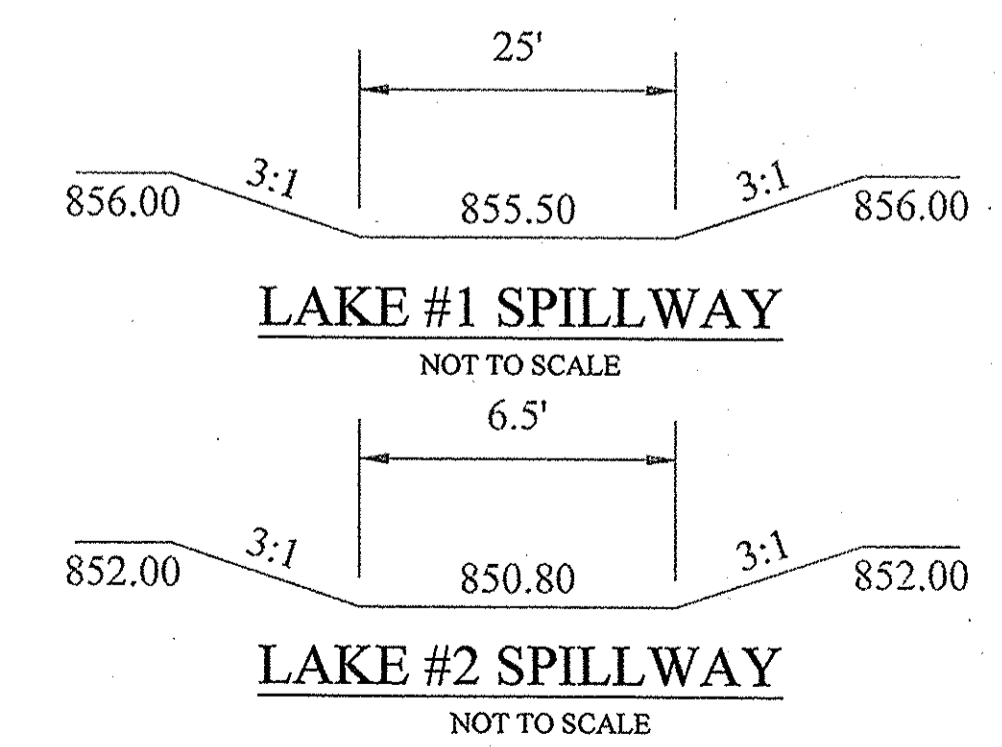
- LEGEND**
- - - EXISTING CONTOUR
  - - - EXISTING SANITARY SEWER
  - - - EXISTING STORM SEWER
  - - - PROPOSED GRADE
  - - - PROPOSED CONTOUR
  - - - PROPOSED SANITARY SEWER
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  - - - PROPOSED FORCE MAIN
  - - - PROPOSED WATER LINE
  - - - PROPOSED SIDEWALK
  - - - PROPOSED 5' SWALE (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
  - 25 847.9 LOT NUMBER PAD ELEVATION
  - MFF 790.5 MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW
    1. (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
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  - M.E. DENOTES MATCH EXISTING GRADE
  - 852.25 DENOTES BASE FLOOD ELEVATION
  - FOUNTAIN (SEE DETAILS, SHEET C800)
  - D.U.&S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT
  - D.&U.E. DRAINAGE & UTILITY EASEMENT
  - R.D.E. REGULATED DRAINAGE EASEMENT
  - L.M.A.E. LANDSCAPE, MAINTENANCE ACCESS EASEMENT
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  14. SEE SHEETS C603-C604 FOR SUB SURFACE DRAIN INFORMATION.

- EARTHWORK:**
1. EXCAVATION
    - A. Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
    - B. Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
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    - A. All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
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    - A. Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
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# RECORD DRAWING

David J. Stoepfelwerth  
 Registered Land Surveyor  
 No. 90012  
 State of Indiana  
 12/12/2017



File Name: S:\75875PLA-S\DWG\C200 Site Development.dwg - C201  
 Modified / By: December 12, 2017 11:07:05 AM / Jwillis  
 Plotted / By: December 12, 2017 4:32:01 PM / Jennifer Willis

**STOEPPELWERTH**  
 A L W A Y S O N  
 796 East 10th Street, Fishers, IN 46038-2905  
 Phone: 317.843.5352 Fax: 317.843.5942

**PEBBLE BROOK VILLAS**

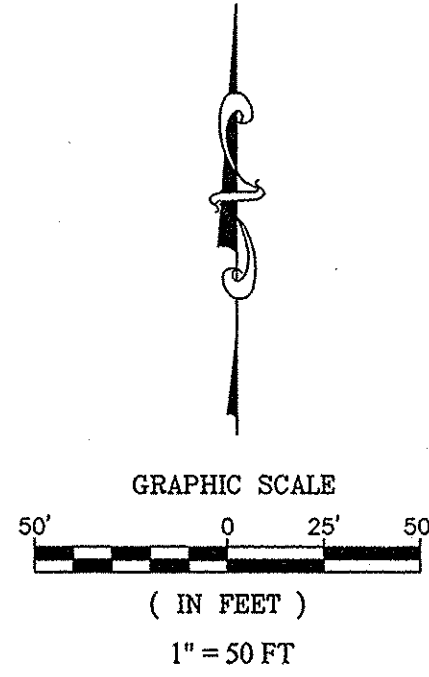
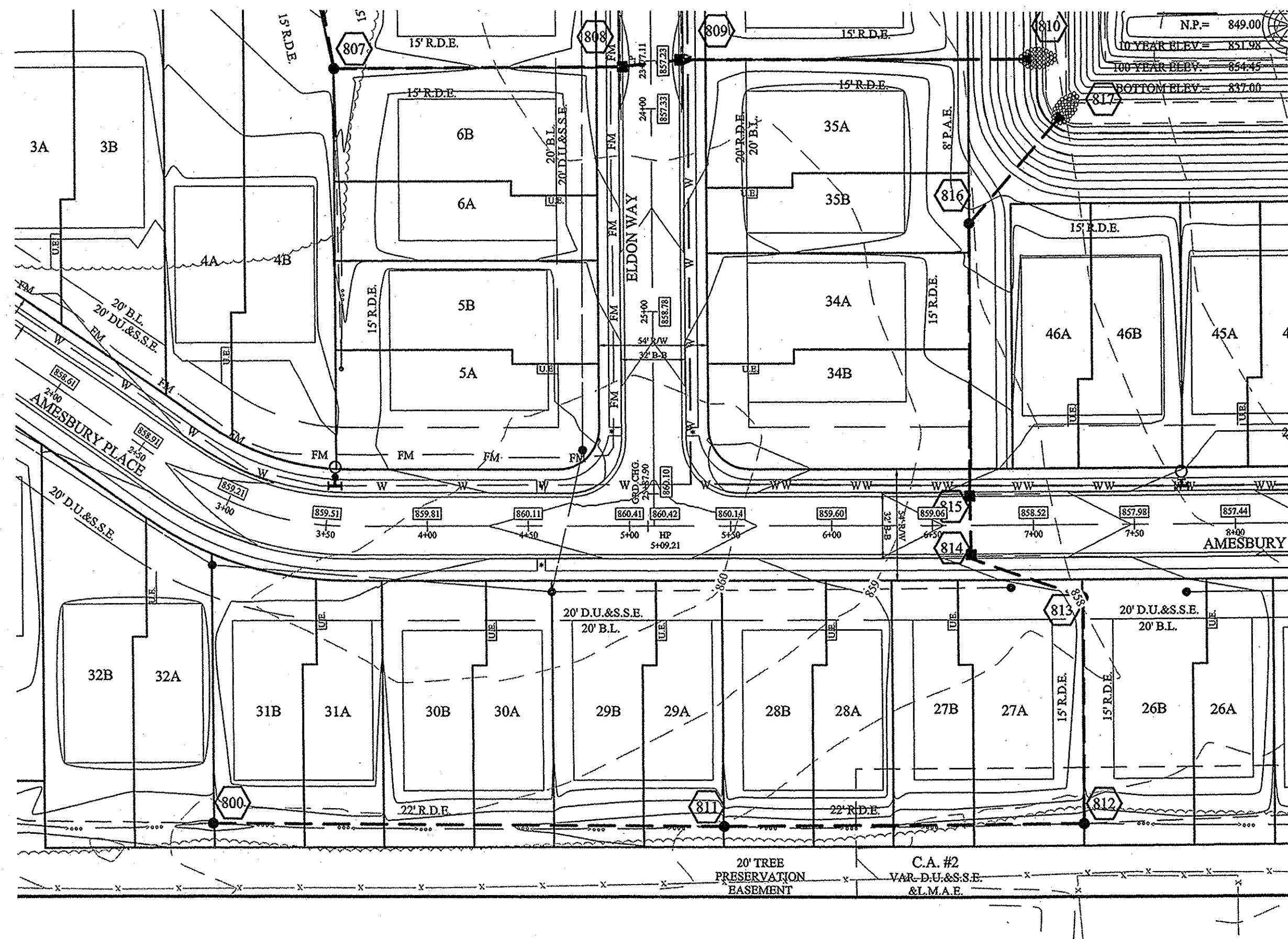
**SITE DEVELOPMENT PLAN**

DRAWN BY: JSM CHECKED BY: BAH  
 SHEET NO. **C201**  
 25 & 40000  
 75875PLA-S1

AS BUILT 12/04/17  
 REVISED PER CLIENT CHANGES 08/07/17  
 ADD HEC FAS FLOOD LINES 07/07/17  
 ADD LEGAL DRAIN & F.W. ZONE A 02/20/17  
 REVISIONS DATE MARK

THE DRAWING IS NOT INTENDED TO BE USED FOR ANY OTHER PURPOSE THAN THE ORIGINAL FOUNDATION SURVEY ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.  
 CERTIFIED: 11/30/16  
 David J. Stoepfelwerth

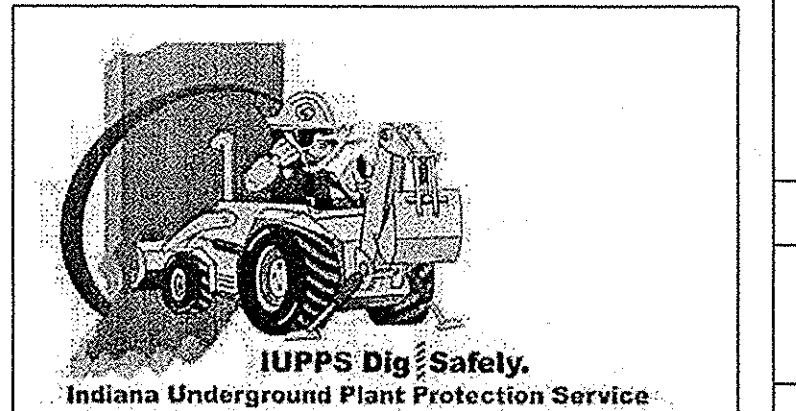
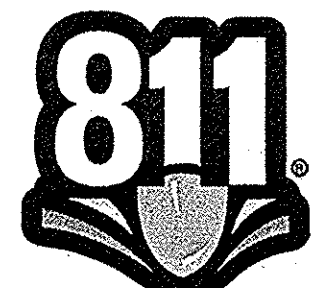
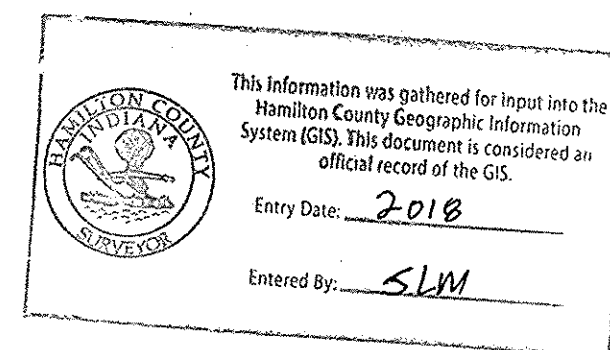
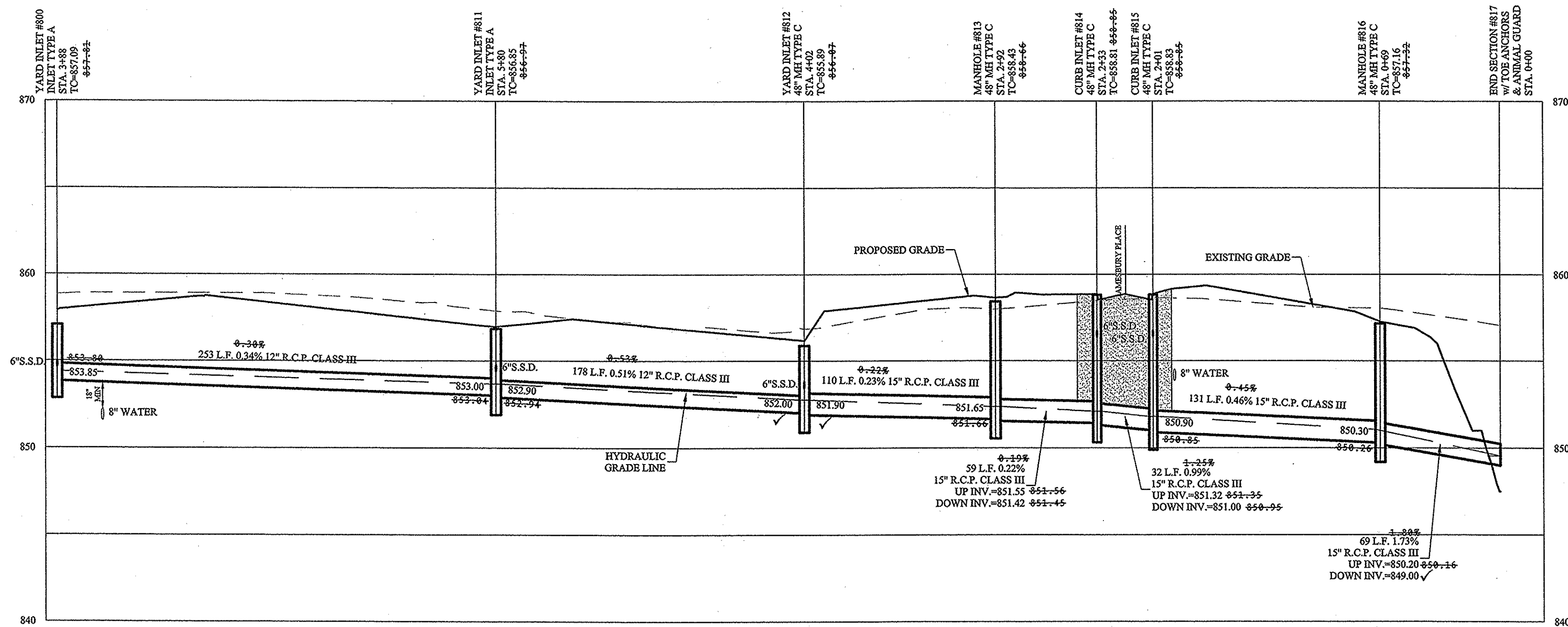




STRUCTURE TABLE											
STR.#	TYPE	T.C.	CASTING TYPE	DIAMETER IN	DIRECTION IN	INV. IN	DIAMETER OUT	DIRECTION OUT	INV. OUT	SLOPE	NOTES
800	YARD INLET	857.09	R-4215-C				12	E	853.85	0.34%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
801	YARD INLET	857.46	R-4342				12	NE	854.02	0.34%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
802	DBL CURB INLET	857.92	(2) R-3501-TR/TL	12	SW	853.80	15	N	853.70	0.64%	SEE DOUBLE CURB INLET DETAIL SHEET C800
803	CURB INLET	857.83	R-3501-TR/TL	15	S	853.46	18	E	853.36	0.38%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
804	MANHOLE	859.40	R-1772	18	W	853.10	21	N	853.00	0.30%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
805	YARD INLET	856.93	R-4342	21	S	852.65	21	E	852.55	0.23%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
806	YARD INLET	856.40	R-4342	21	W	852.17	21	S	852.07	0.44%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
807	YARD INLET	857.33	R-4342	21	N	851.83	24	E	851.83	0.23%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
808	CURB INLET	857.19	R-3501-TR/TL	24	W	851.51	24	E	851.51	0.31%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
809	CURB INLET	857.17	R-3501-TR/TL	24	W	851.41	24	E	851.41	1.40%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
810	END SECTION	851.33		24	W	849.00					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
811	YARD INLET	856.85	R-4215-C	12	W	853.00	12	E	852.90	0.51%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
812	YARD INLET	855.89	R-4342	12	W	852.00	15	N	851.90	0.23%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
813	MANHOLE	858.43	R-1772	15	S	851.65	15	W	851.55	0.22%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
814	CURB INLET	858.81	R-3501-TR/TL	15	E	851.42	15	N	851.32	0.99%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
815	CURB INLET	858.83	R-3501-TR/TL	15	S	851.00	15	N	850.90	0.46%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
816	MANHOLE	857.16	R-1772	15	S	850.30	15	NE	850.20	1.73%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
817	END SECTION	850.52		15	SW	849.00					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
818	YARD INLET	854.26	R-4215-C				12	N	851.45	0.33%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
819	CURB INLET	854.28	R-3501-TR/TL				12	S	851.10	0.77%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
820	DBL CURB INLET	854.37	(2) R-3501-TR/TL	12	N	850.85	15	S	850.75	1.01%	SEE DOUBLE CURB INLET DETAIL SHEET C800
821	END SECTION	850.52		15	N	849.00					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
822	OUTLET CONTROL STR.	852.06	CUSTOM				12	NE	849.00	0.47%	SEE OUTLET CONTROL STRUCTURE #822 DETAIL
824	CURB INLET	853.90	R-3501-TR/TL	12	SW	848.06	12	NE	847.96	0.34%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
825	DBL CURB INLET	853.95	(2) R-3501-TR/TL	12	SW	847.85	12	NE	847.75	0.84%	SEE DOUBLE CURB INLET DETAIL SHEET C800
826	END SECTION	848.25		12	SW	847.00					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
827	YARD INLET	852.02	R-4215-C				12	N	848.65	0.33%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
828	YARD INLET	851.84	R-4342	12	S	848.03	12	N	847.93	0.39%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
829	MANHOLE	851.78	R-1772	12	S	847.30	15	NW	847.20	0.34%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
830	END SECTION	848.52		15	SE	847.00					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
831	YARD INLET	851.92	R-4215-C				12	E	848.73	0.56%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
832	YARD INLET	851.87	R-4342	12	W	847.33	12	SE	847.23	0.44%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
833	END SECTION	848.25		12	NW	847.00					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
834	YARD INLET	856.17	R-4215-C				12	SW	853.34	0.33%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
835	YARD INLET	856.37	R-4215-C	12	NE	852.74	12	S	852.65	0.30%	SEE INLET TYPE A DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13
836	OUTLET CONTROL STR.	850.61	CUSTOM				12	N	847.00	2.44%	SEE OUTLET CONTROL STRUCTURE #836 DETAIL
837	END SECTION	844.95		12	S	843.70					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
842	END SECTION	850.79		18	S	849.00					SEE PRECAST CONCRETE END SECTION DETAIL ON SHEET C800
843	DBL CURB INLET	855.93	(2) R-3501-TR/TL	15	S	850.50	18	N	850.40	0.82%	SEE DOUBLE CURB INLET DETAIL SHEET C800
844	DBL CURB INLET	855.87	(2) R-3501-TR/TL	12	SE	850.76	15	N	850.66	0.49%	SEE DOUBLE CURB INLET DETAIL SHEET C800
845	YARD INLET	855.80	R-1772	12	S	851.10	12	NW	851.00	0.55%	SEE MANHOLE TYPE C DETAIL ON NOBLESVILLE STANDARDS SHEET 5 OF 13

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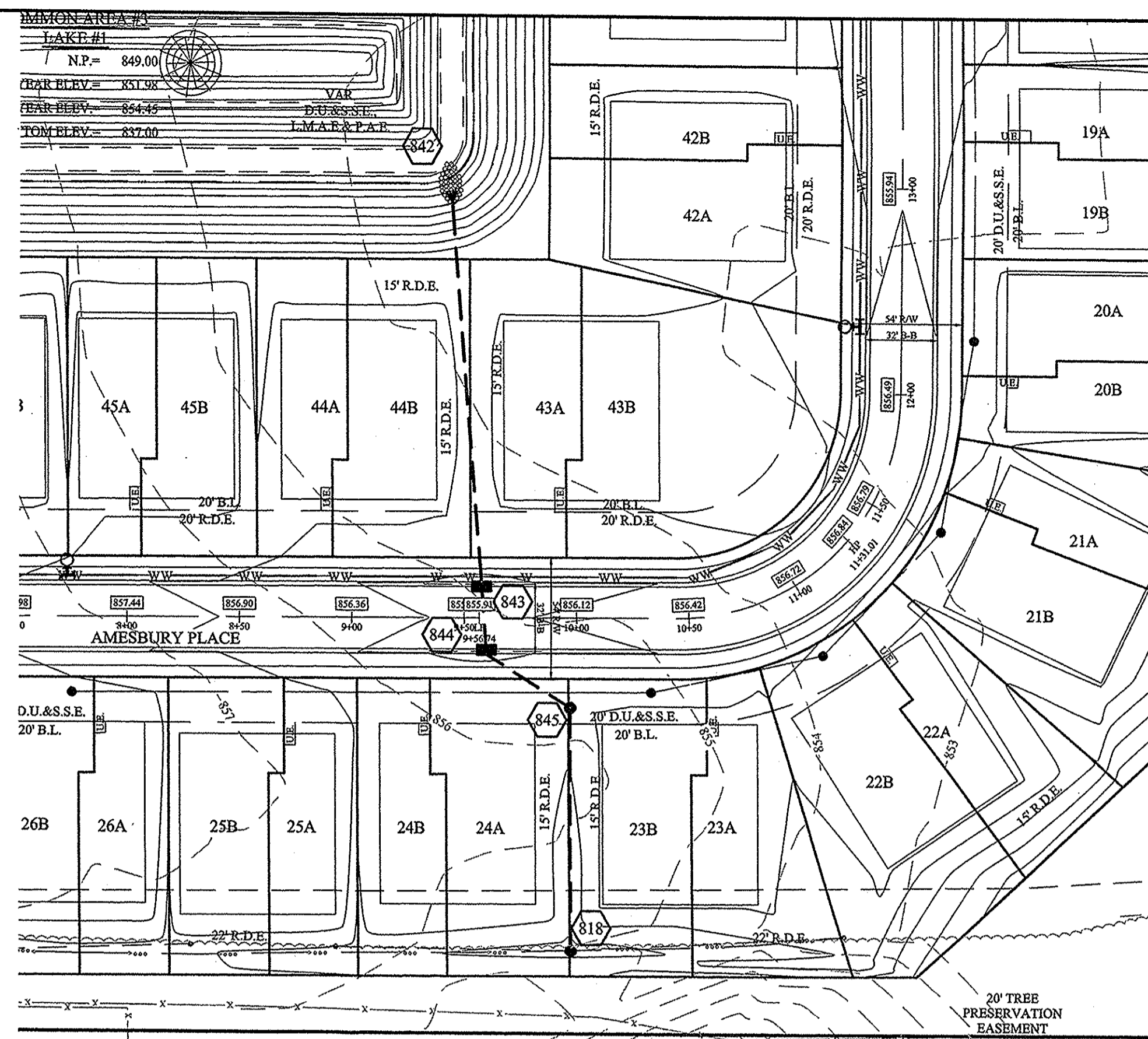
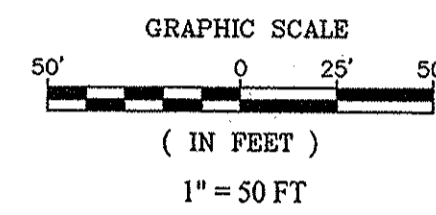
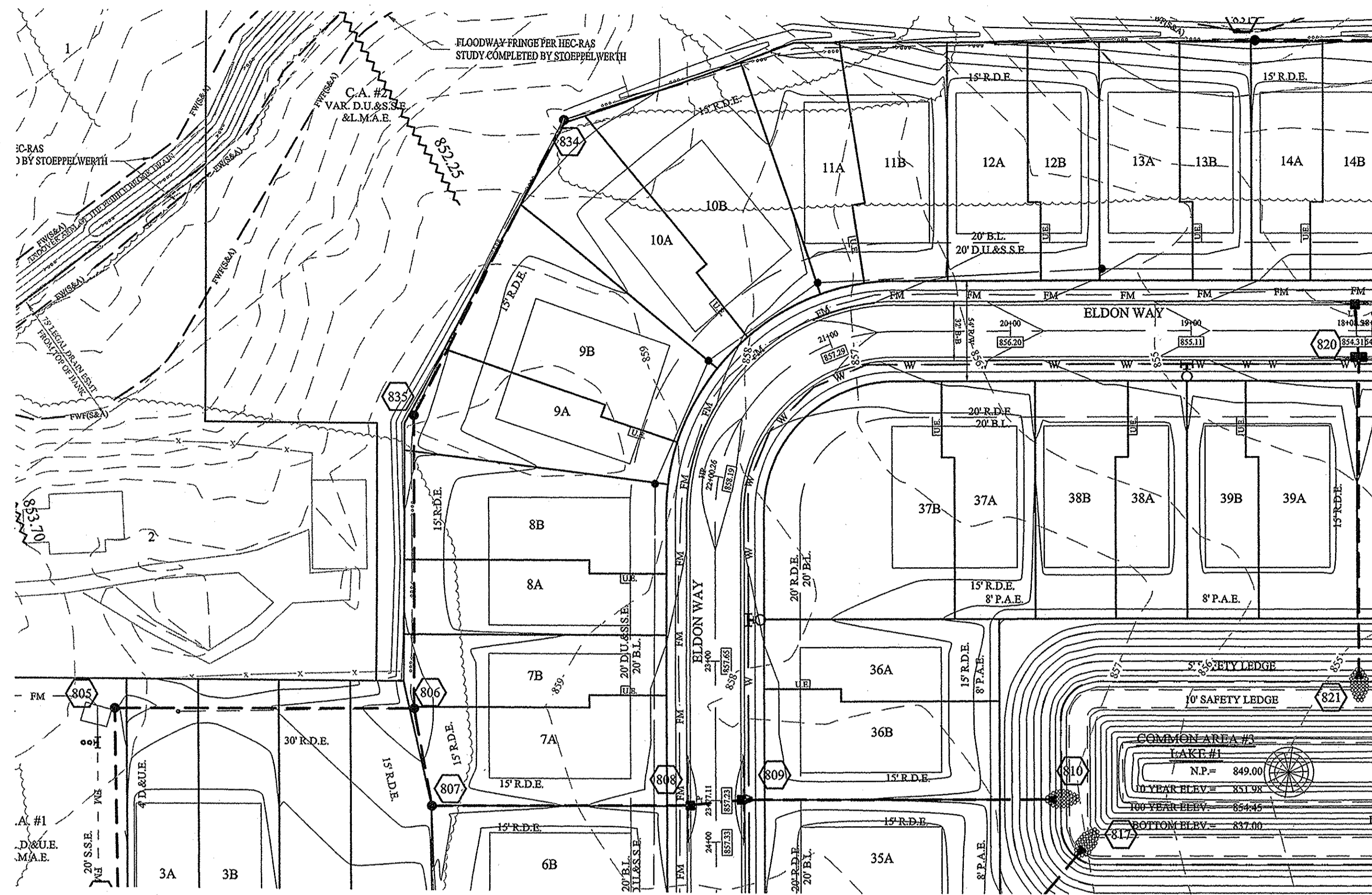
STORM SEWER PLAN & PROFILE  
PEBBLE BROOK VILLAS

STOEPPELWERTH  
ALWAYS ON  
7065 East 100th Street, Fishers, IN 46038-2905  
Phone: 317.849.5295 Fax: 317.849.5242

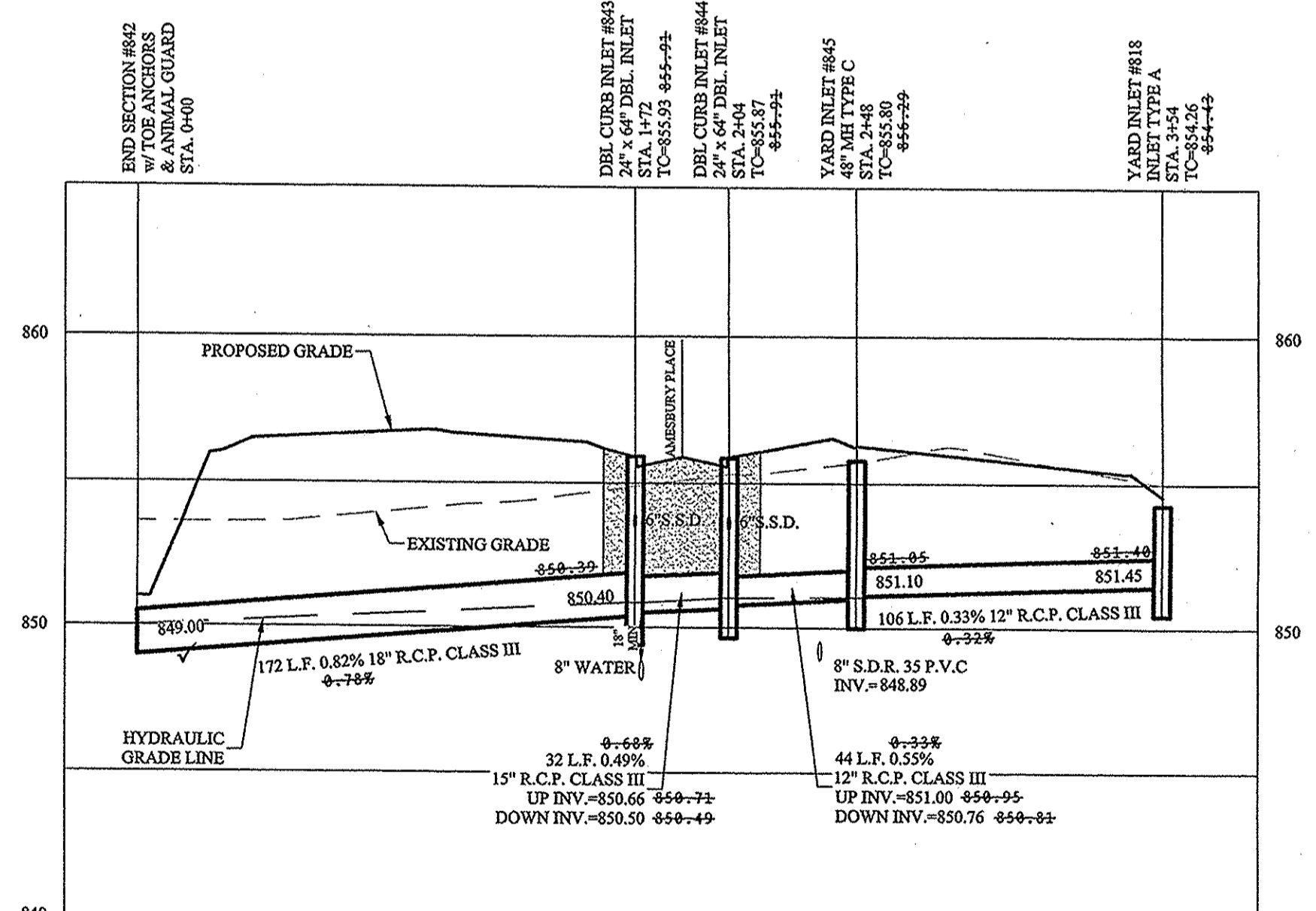
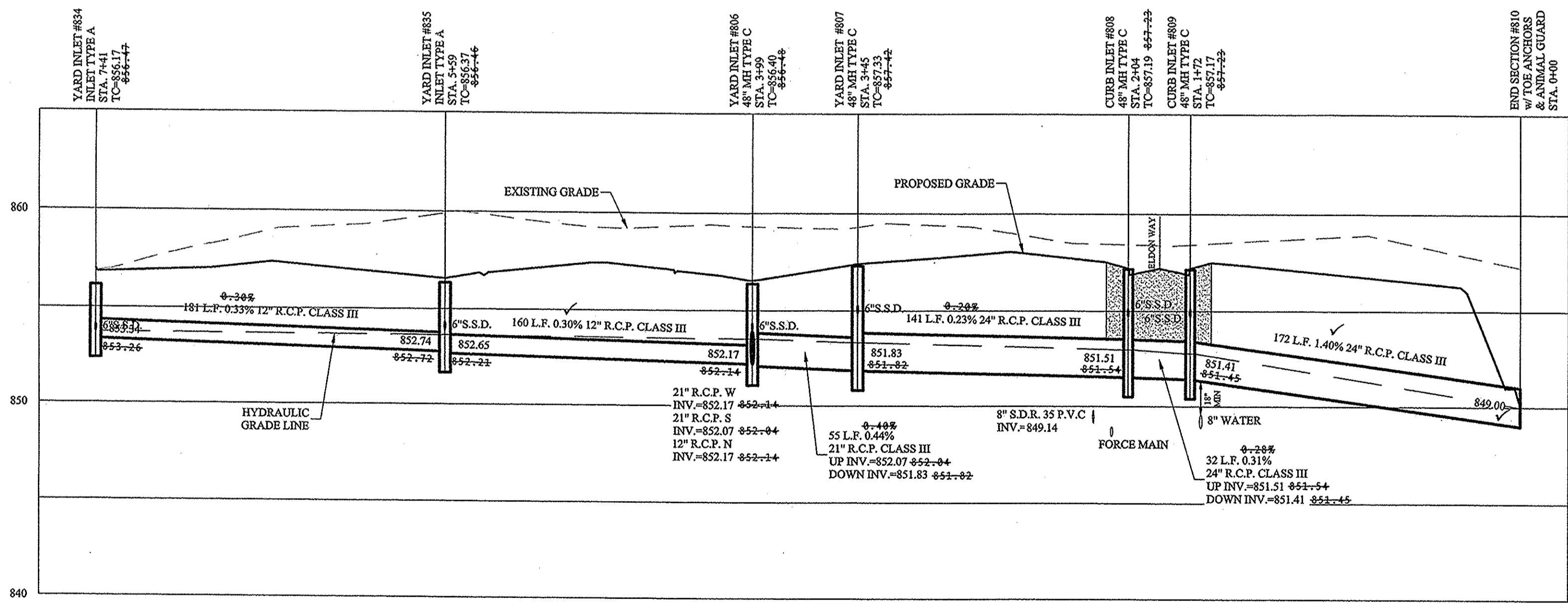
DENNIS D. OLMSTEAD  
Registered Land Surveyor  
No. 900012  
12/12/2018

DRAWN BY: JSM CHECKED BY: BAH  
SHEET NO. C600  
S & A JOB NO. 75875PLA-S1





Arm: Villages @  
 PebbleBrook Section 5  
 PEBBLE BROOK DRAIN 24" LEGAL  
 DRAIN  
 (SLY RUN Water Shed)

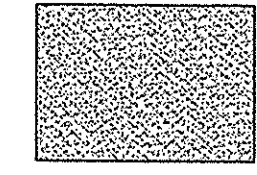


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 Entered By: SLM

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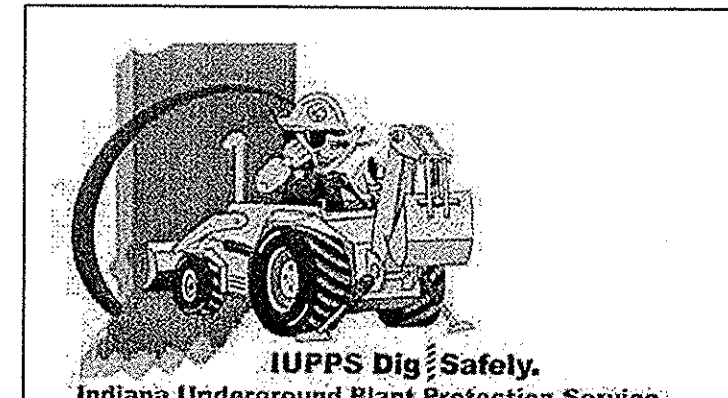
DENOTES FULL DEPTH GRANULAR BACKFILL

RECORD DRAWING

Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012



Know what's below.  
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STORM SEWER PLAN & PROFILE  
 PEBBLE BROOK VILLAS

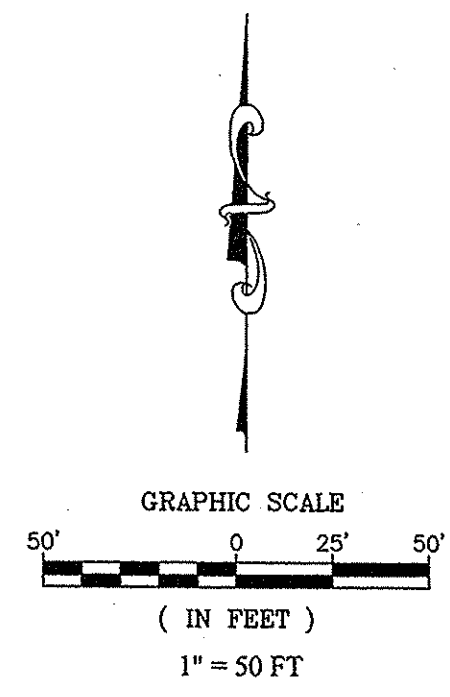
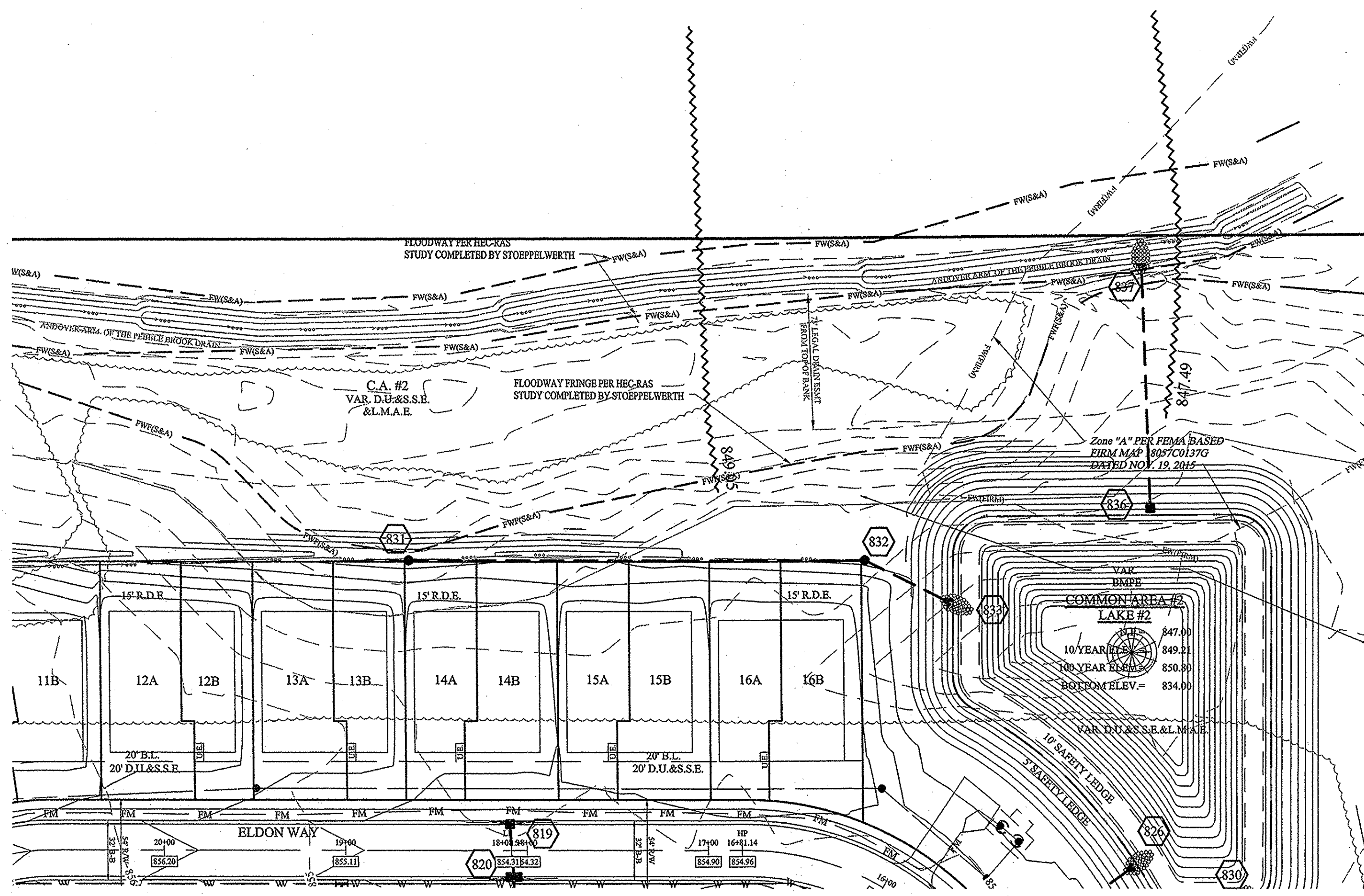
STOEPPELWERTH  
 ALWAYS ON

CERTIFIED: 11/30/16  
 David J. Stoepfelwirth  
 Registered Professional Engineer  
 No. 19358  
 STATE OF INDIANA

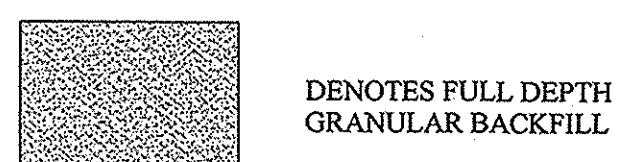


NO.	DATE	MARK	REVISIONS
AS BUILTS	12/01/17		ADDED LEGAL DRAIN & F.W. ZONE A
JAW	02/20/17		KJM
			BY

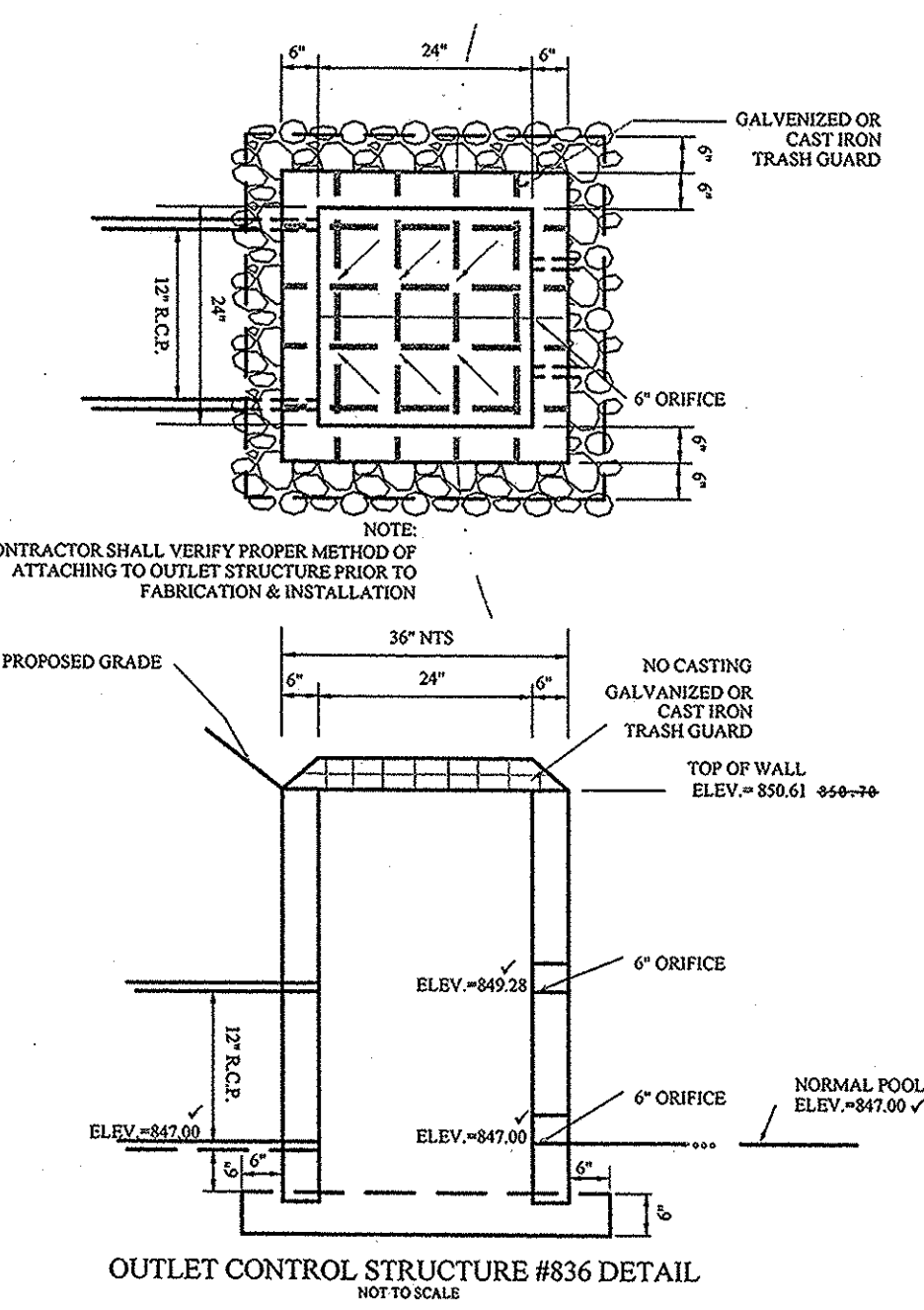
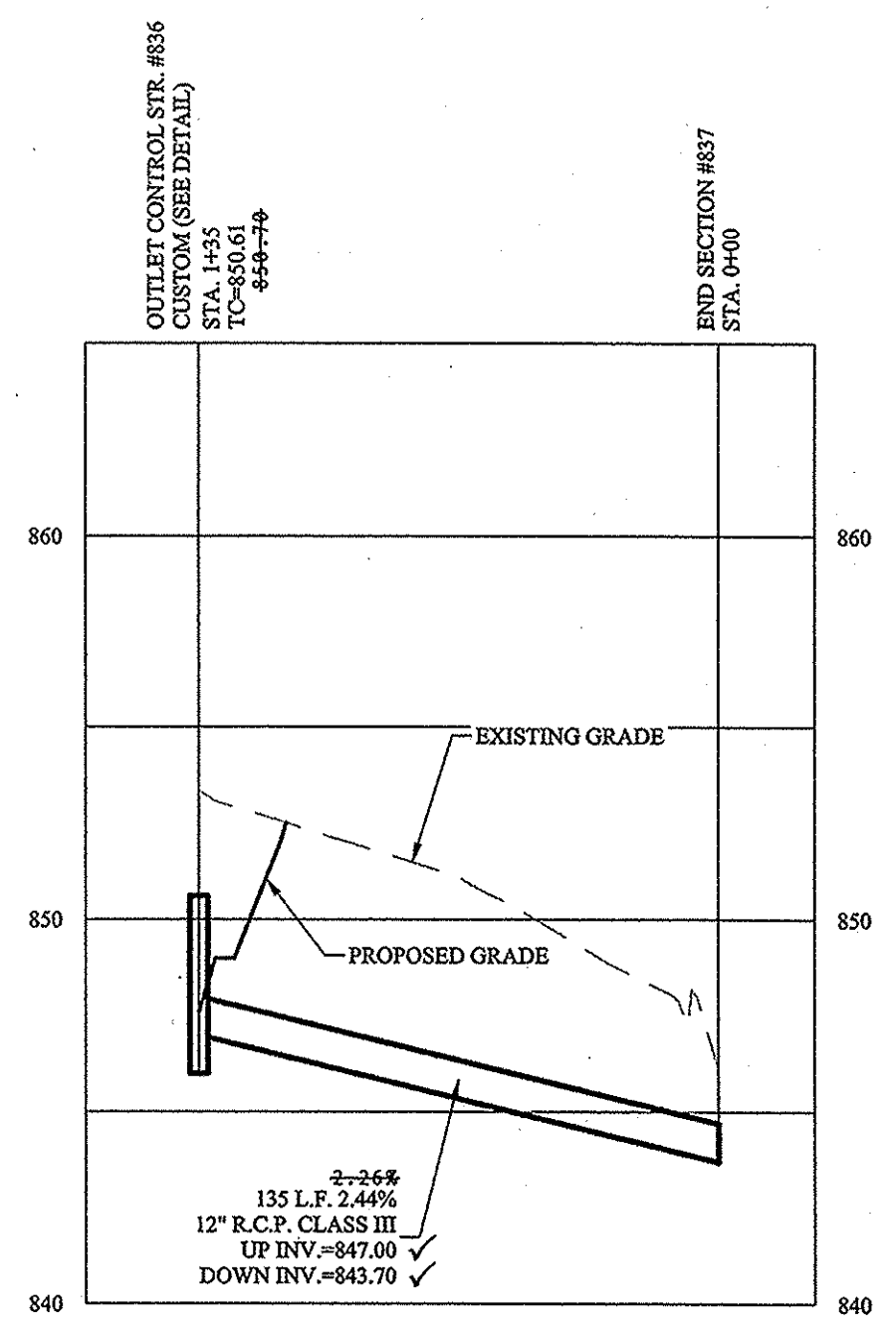
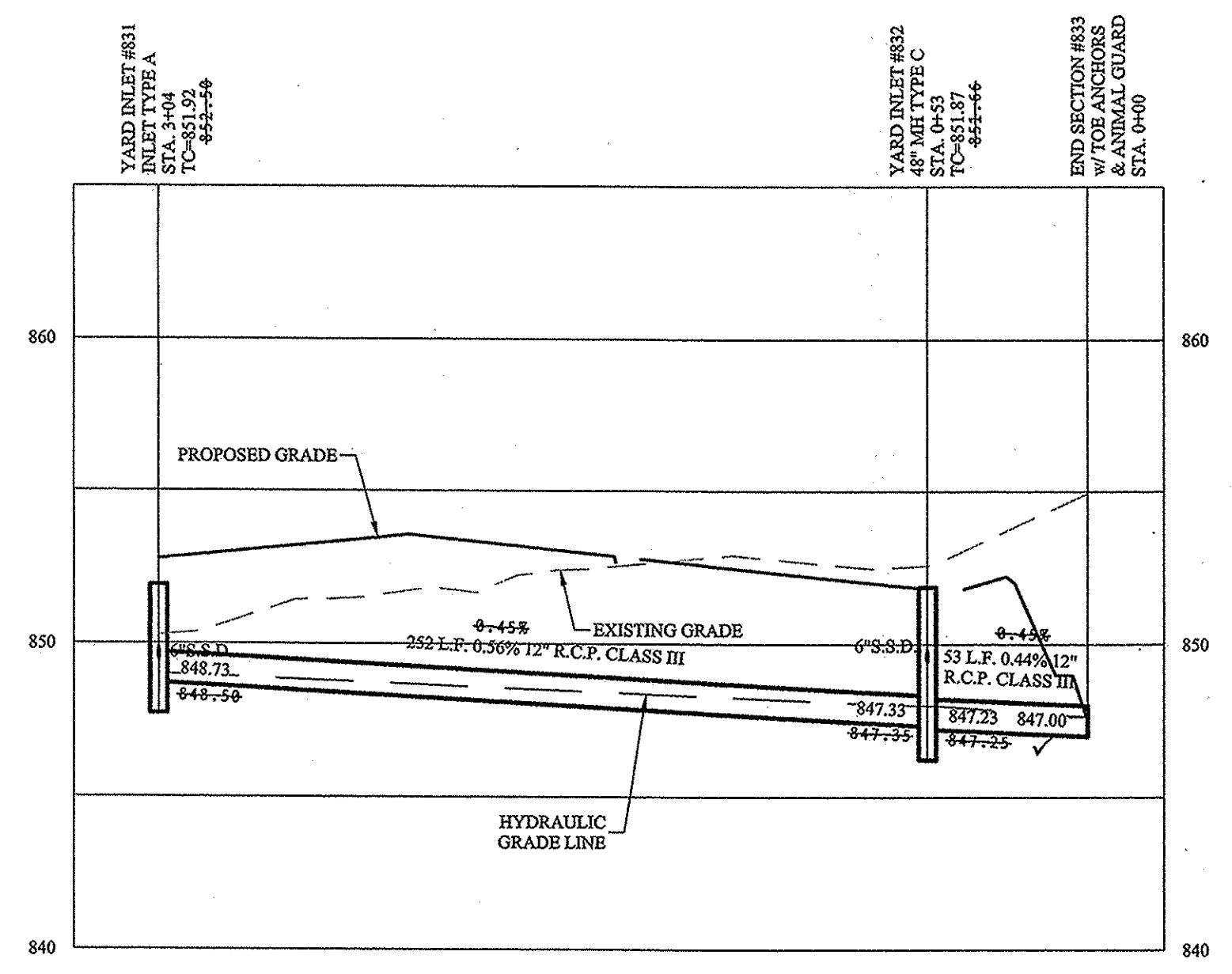
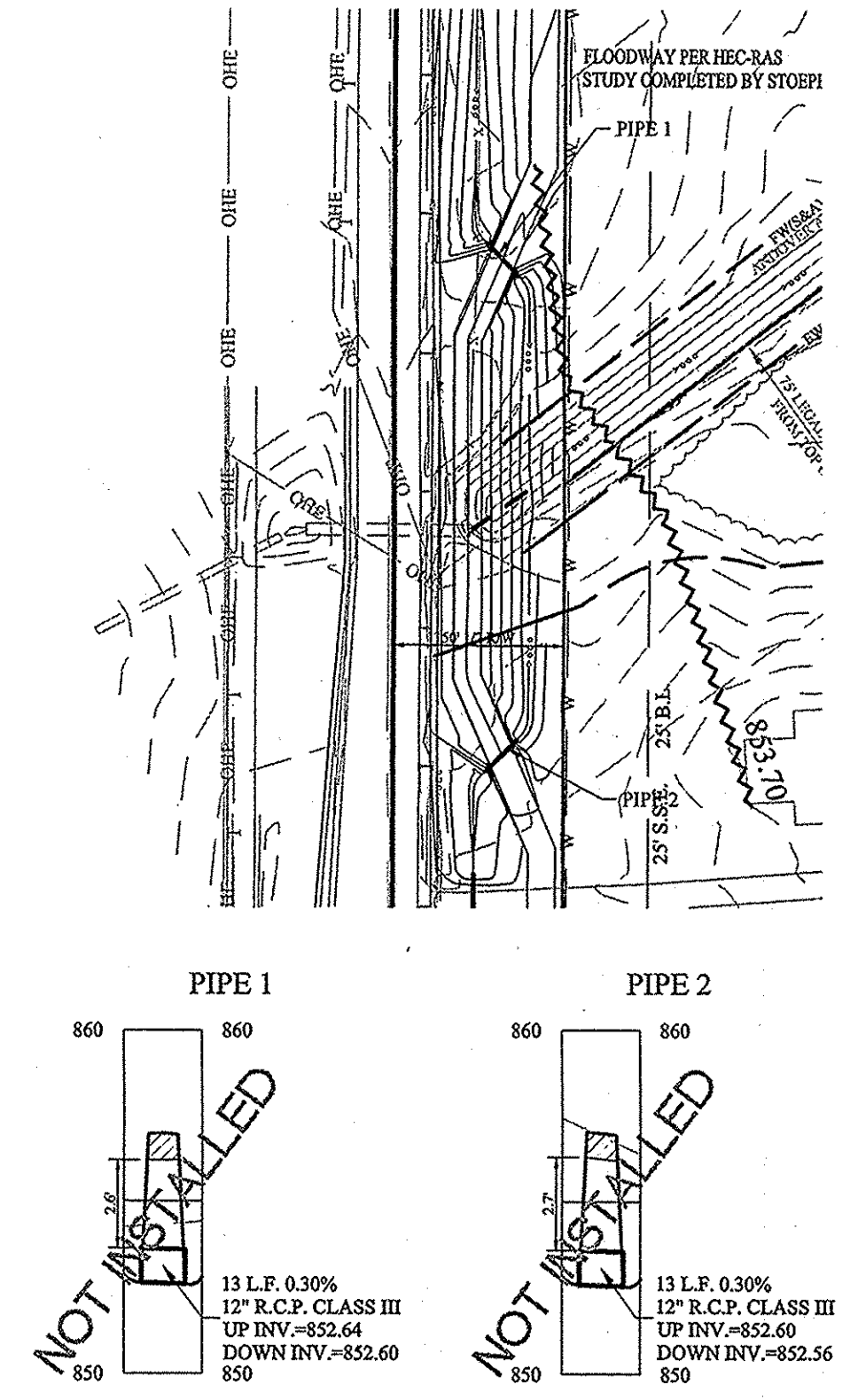




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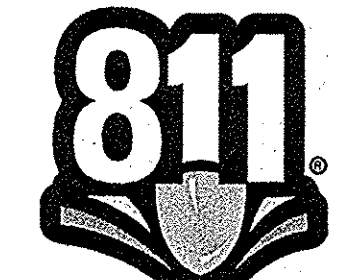


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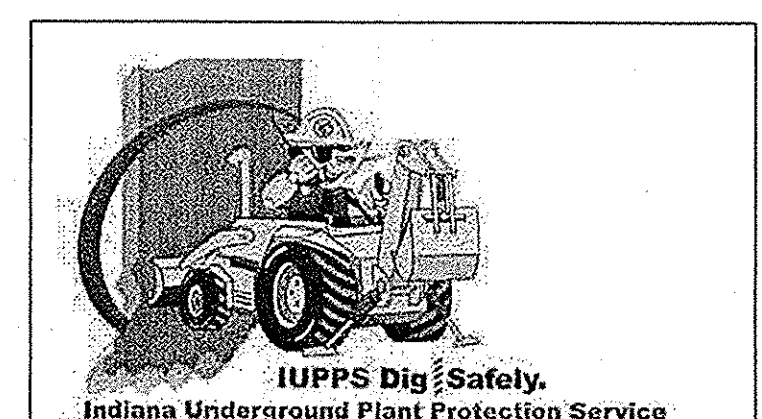
*D.D.O.*  
 Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012  
 12/12/2017



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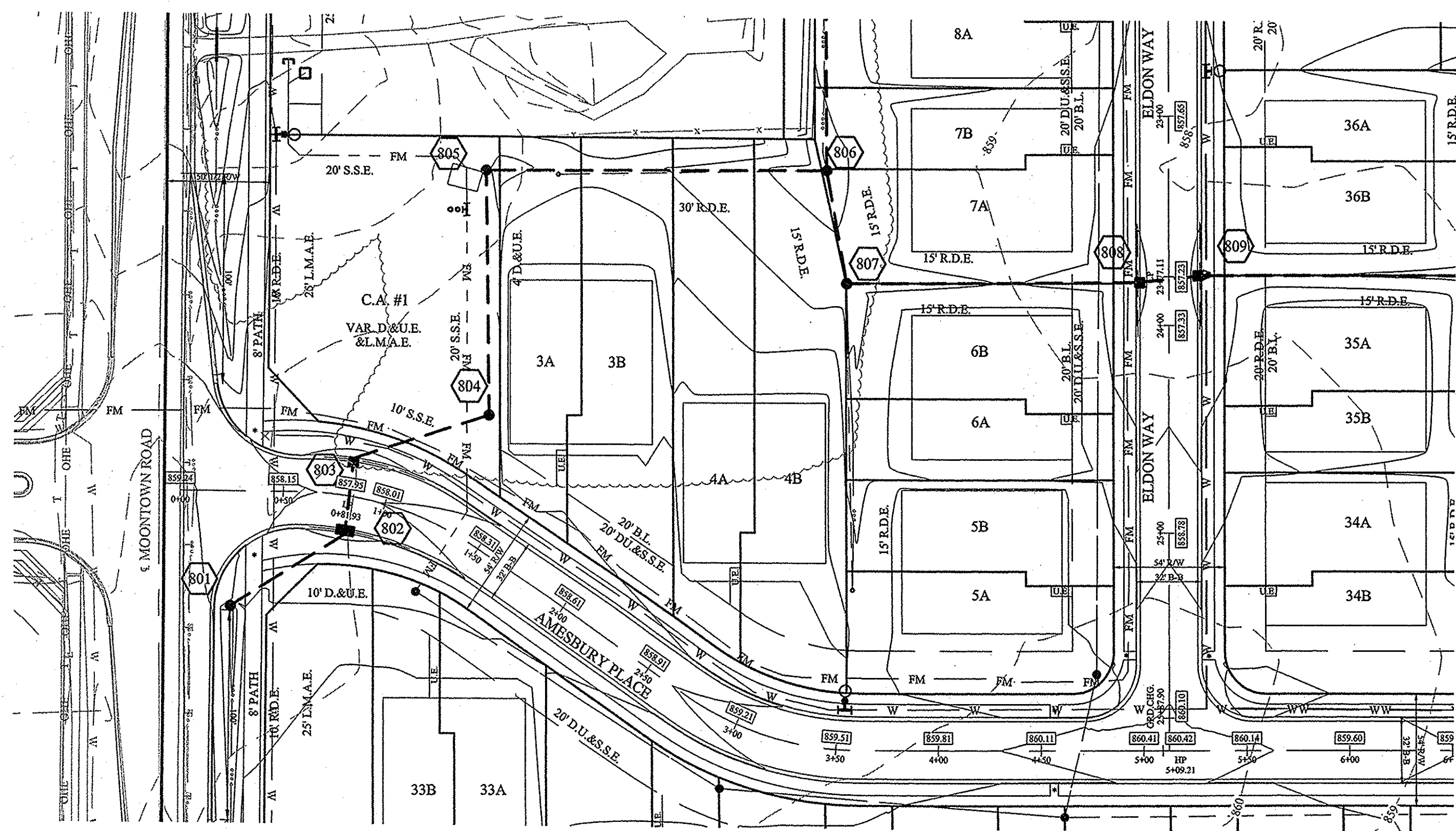
**STOEPPELWERTH**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 19358  
 STATE OF INDIANA  
 CERTIFIED: 11/30/16  
 David J. Stoepelwerth

STORM SEWER PLAN & PROFILE  
 PEBBLE BROOK VILLAS  
 HAMILTON COUNTY, INDIANA  
 NOBLESVILLE, WAYNE TOWNSHIP

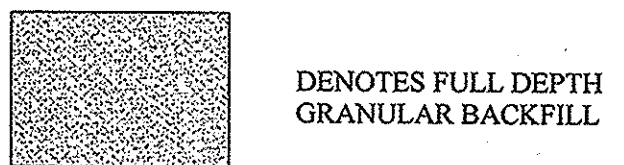
DATE	REVISIONS
12/04/17	AS BUILT
02/20/17	ADDED LEGAL DRAIN & FW ZONE A
	KJDM
	BY

DRAWN BY: JSM  
 CHECKED BY: BAH  
 SHEET NO. **C602**  
 S.A. JOB NO. 75875PLA-S1

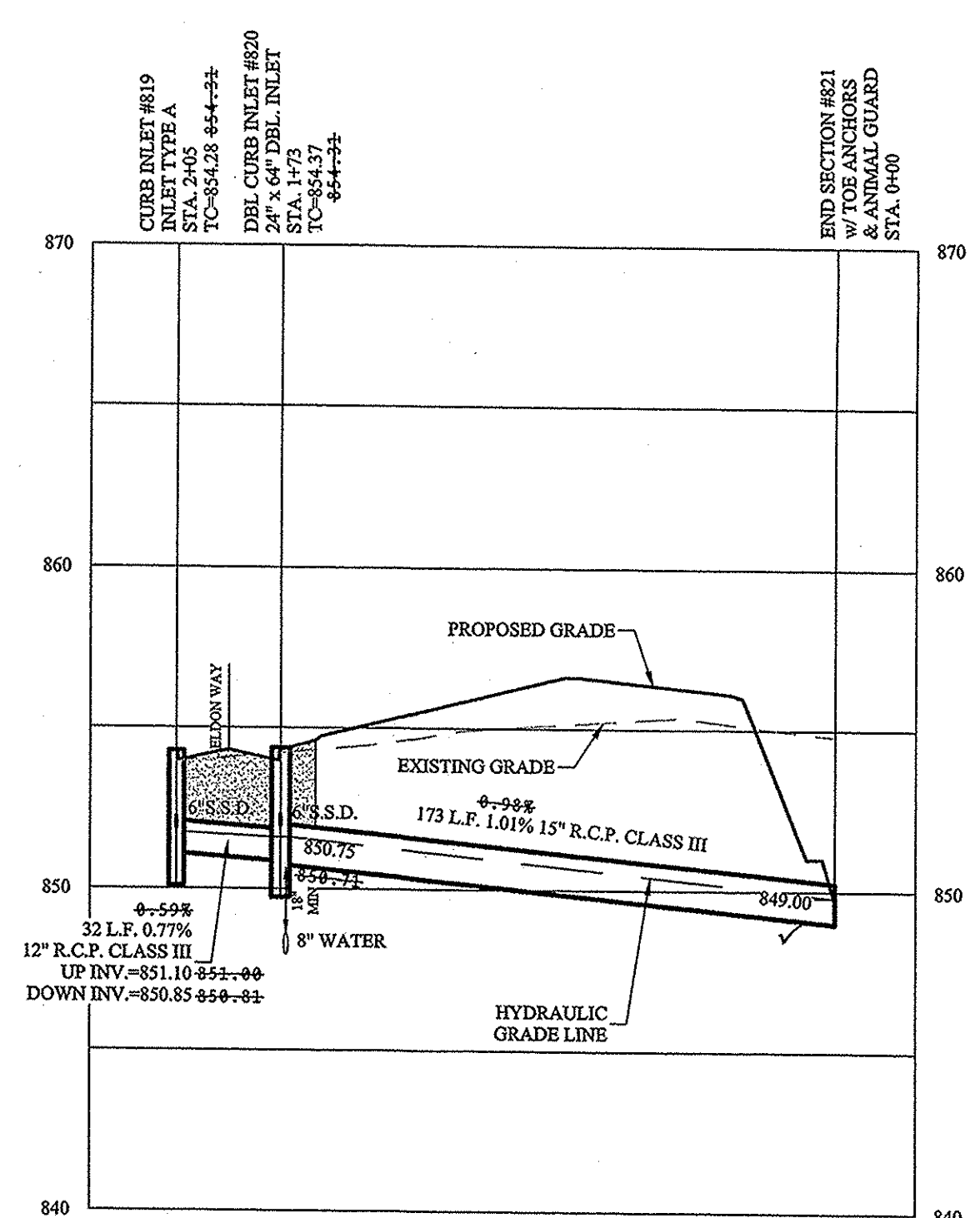
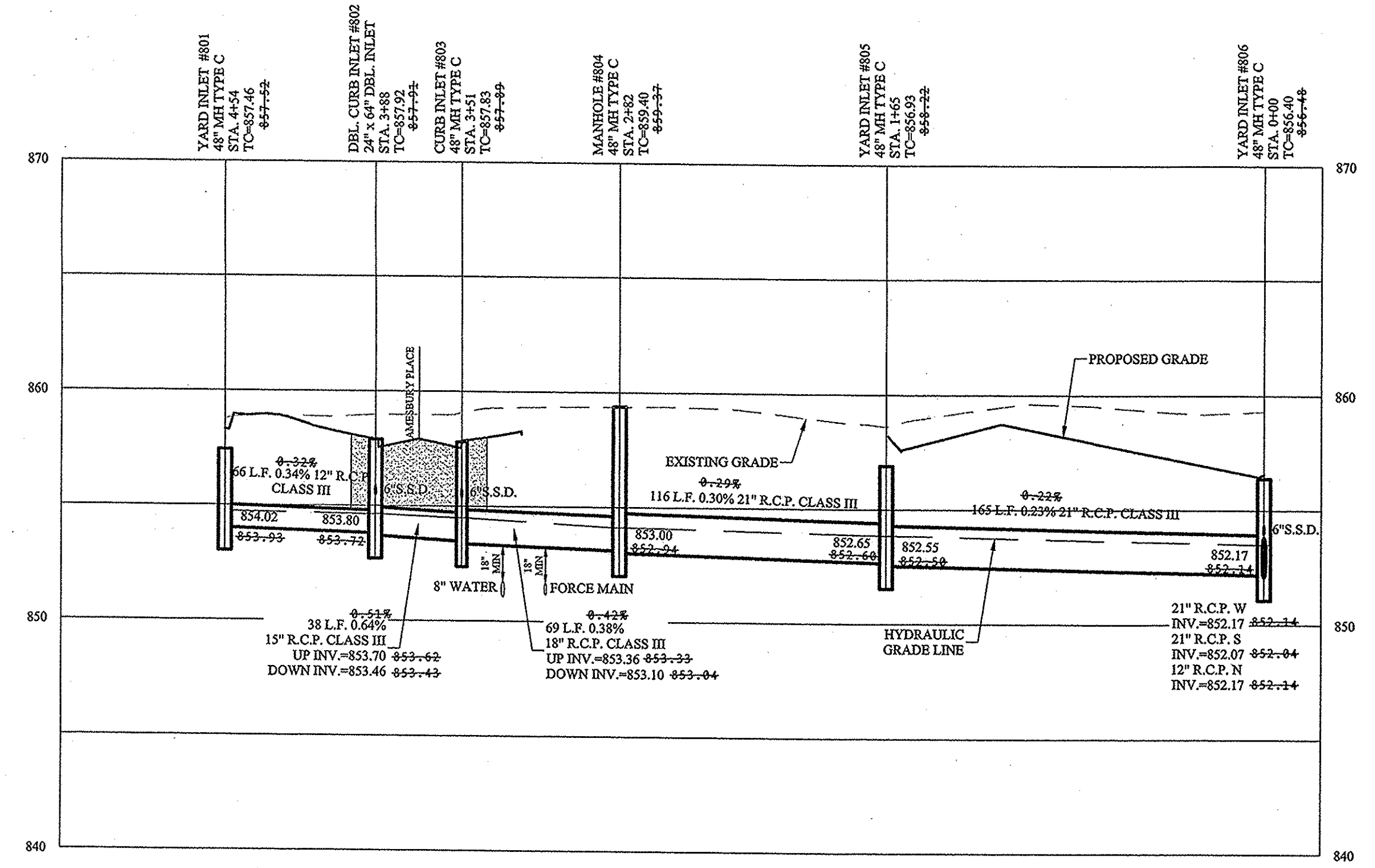
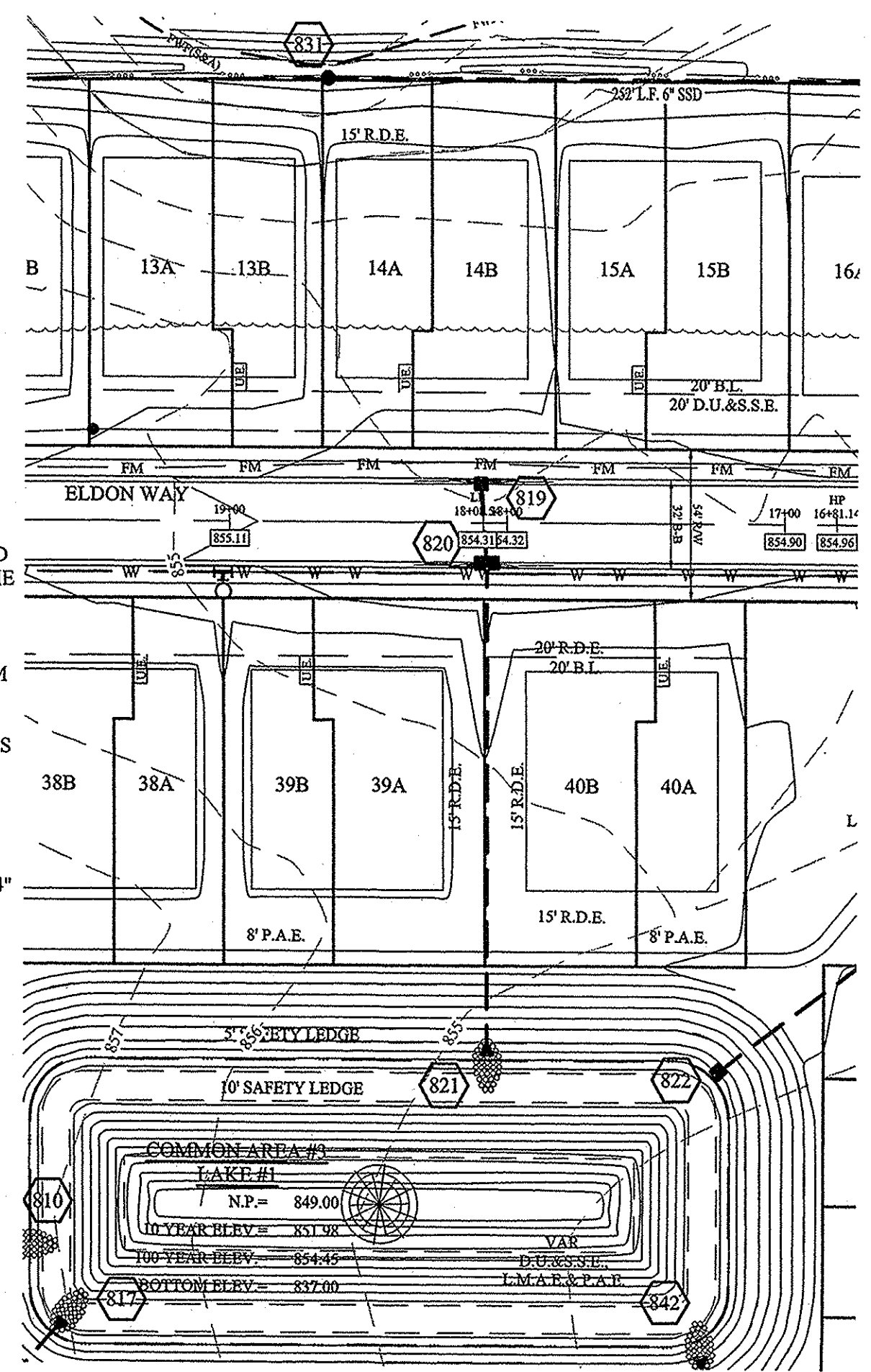
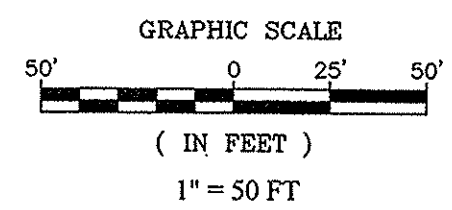




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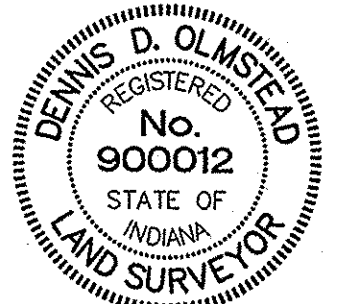


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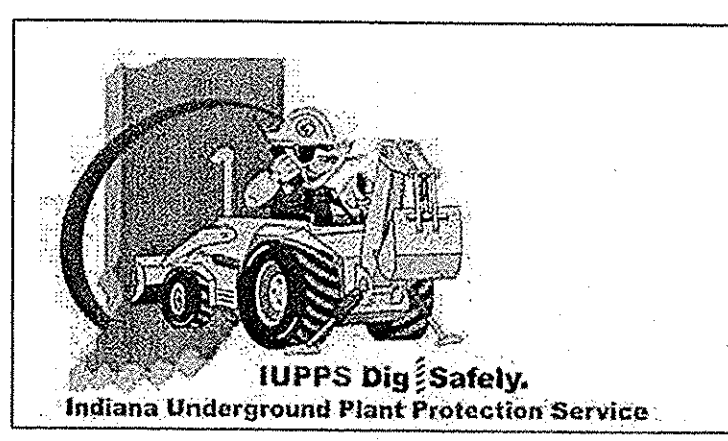


# RECORD DRAWING

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Registered Land Surveyor  
No. 900012  
12/12/2017



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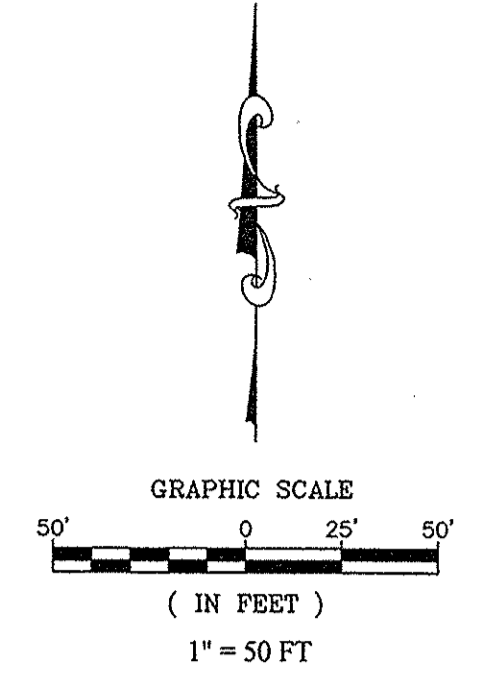
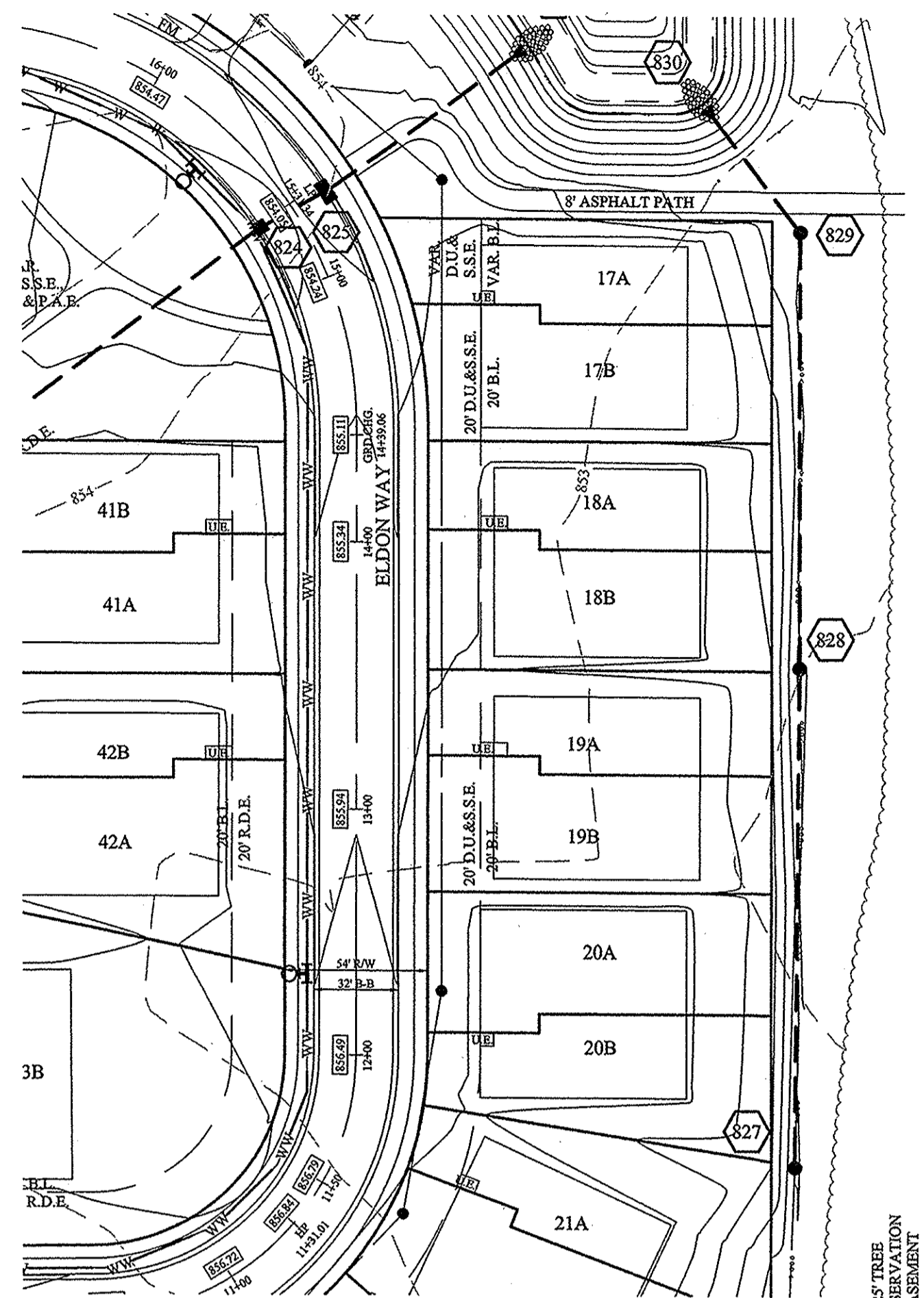
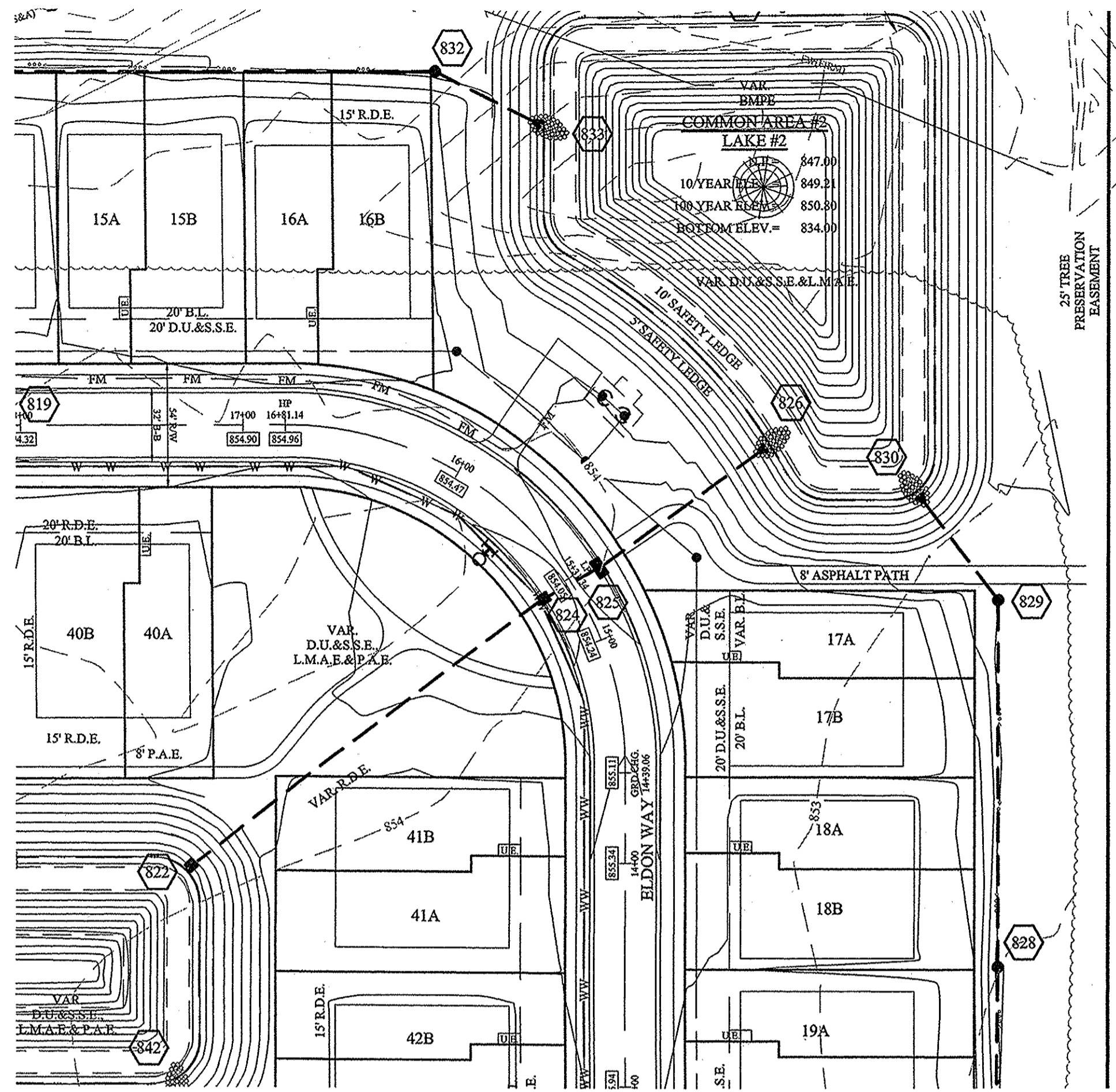


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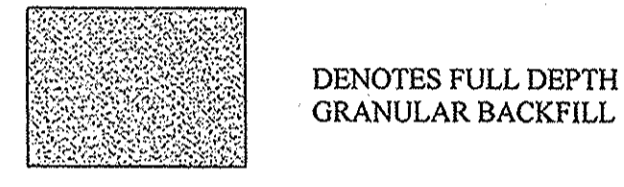
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Modified By:  
Plotted By:

NOBLESVILLE, WAYNE TOWNSHIP	HAMILTON COUNTY, INDIANA
STORM SEWER PLAN & PROFILE	PEBBLE BROOK VILLAS
DRAWN BY: JSM	CHECKED BY: BAH
SHEET NO. C603	
S.A. JOB NO. 75875PLA-S1	
NOBLESVILLE, WAYNE TOWNSHIP	HAMILTON COUNTY, INDIANA
ALWAYS ON	7945 East 106th Street, Fishers, IN 46038-2905 Phone: 317.849.2935 Fax: 317.849.2942
REGISTERED PROFESSIONAL ENGINEER	NO. 19358
STATE OF INDIANA	CERTIFIED: 11/2016
<i>Dennis J. Stoepelwerth</i>	
DATE: 12/01/17	BY: JAW
REVISIONS:	KJIM
ADDED LEGAL DRAIN & FW ZONE A	



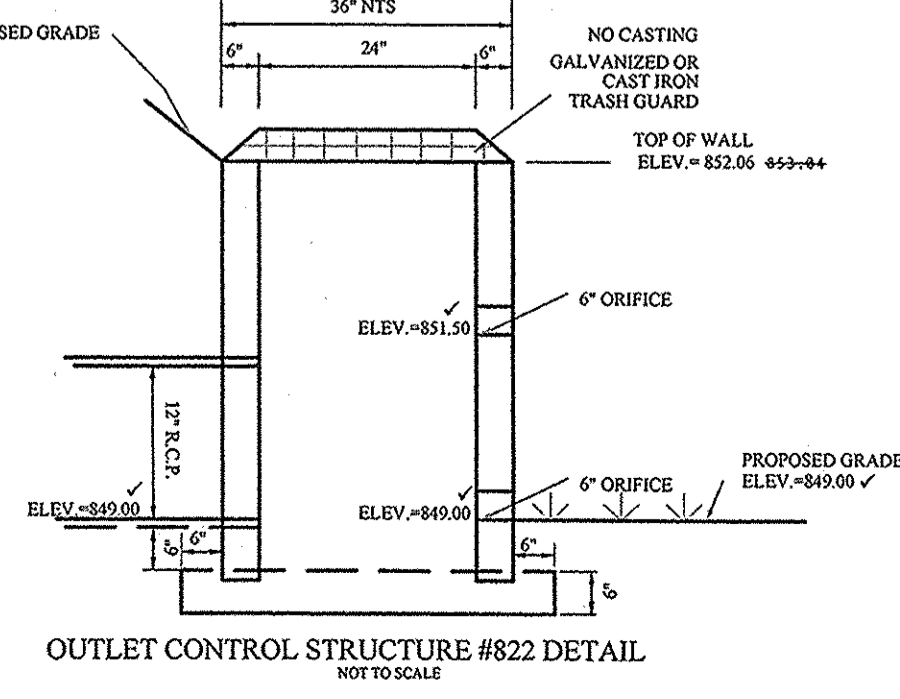
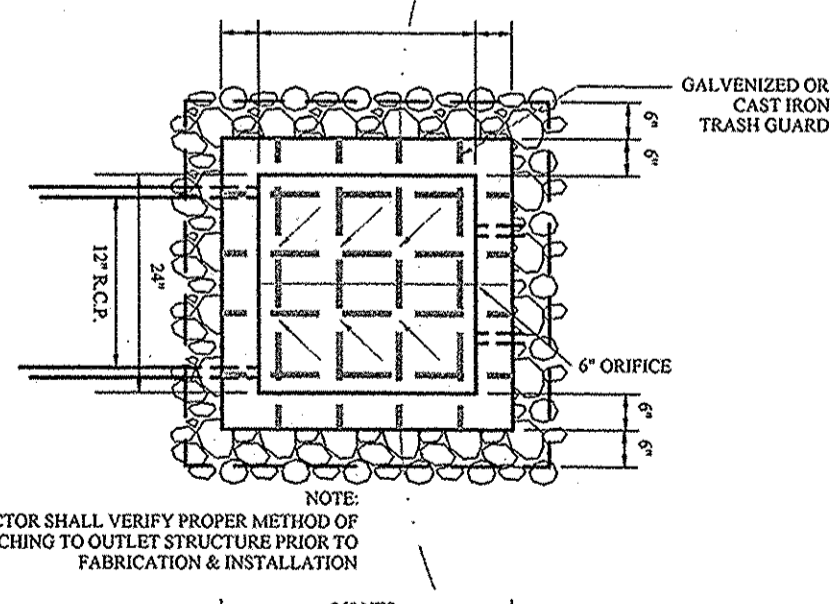
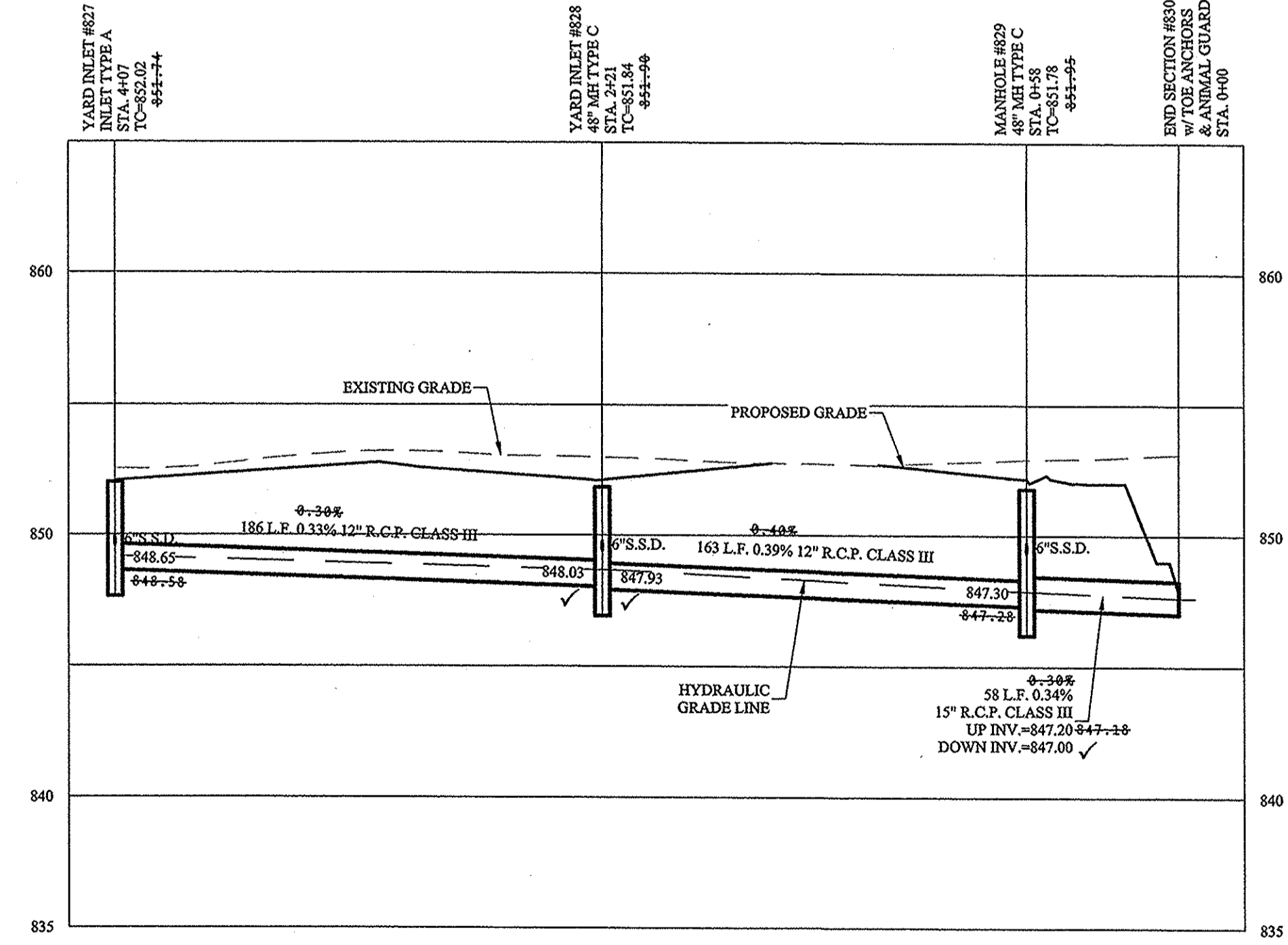
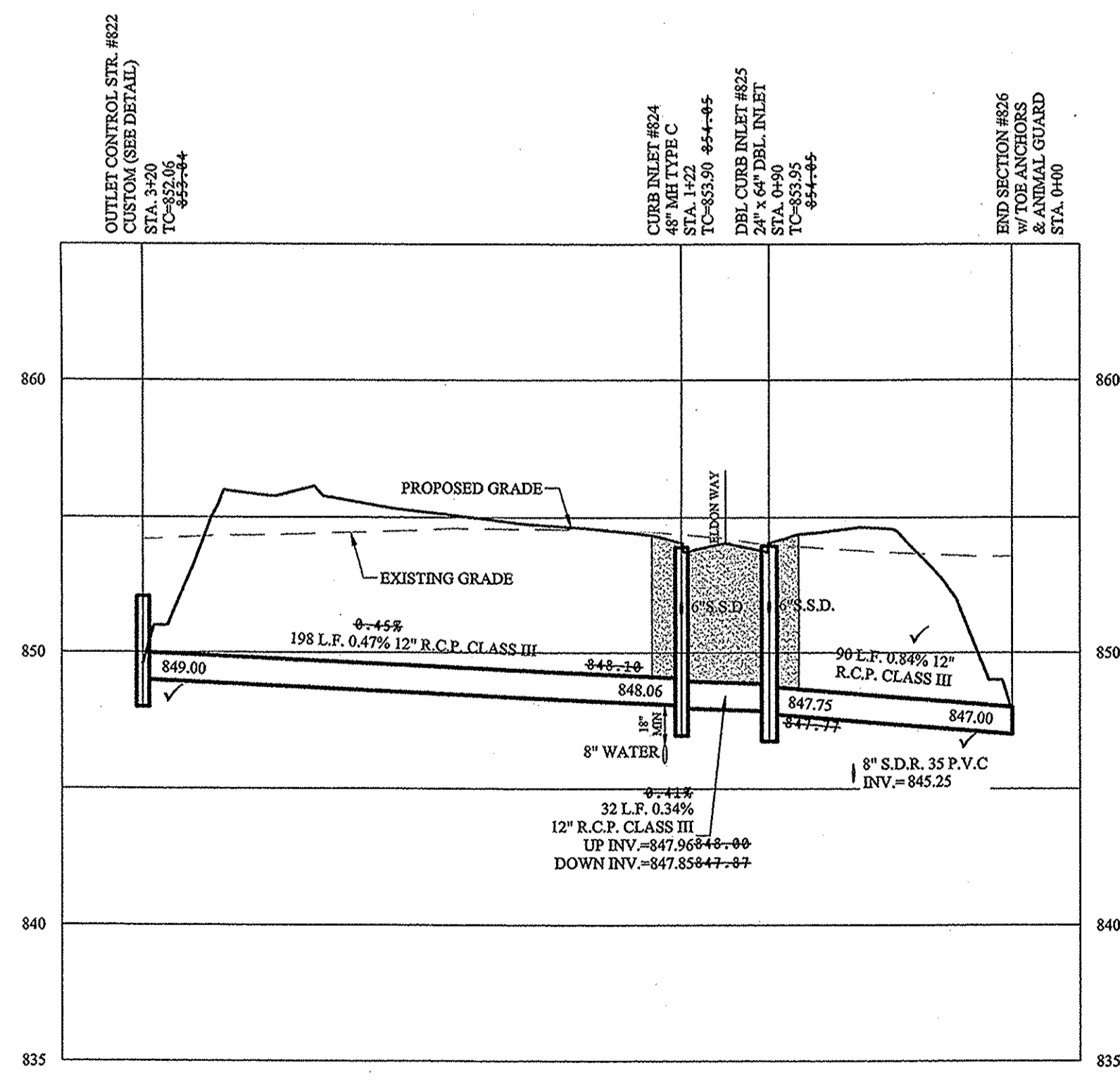


- NOTES:
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED PER NOBLESVILLE STANDARDS. SEE SHEET 4 OF 13 OF THE CITY OF NOBLESVILLE DETAILS FOR SPECIFICATIONS.
  - CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
  - NO ORGANIC MATERIAL TO BE USED AT STORM SEWER STUBS.
  - MANHOLE T.C. GRADES TO BE ESTABLISHED USING (1) 4" RISER RING, NO MORE, NO LESS.



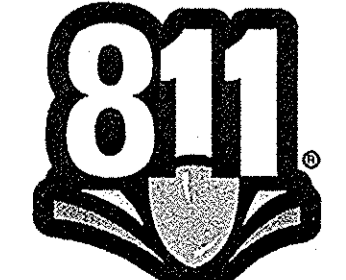
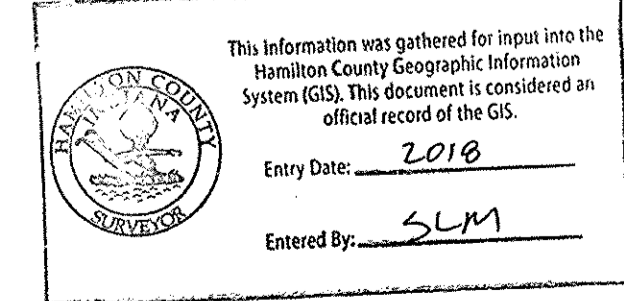
ALL STORM DRAIN CASTINGS WILL REQUIRE A NO DUMPING MESSAGE AS SPECIFIED ON SHEET 5 OF THE CITY OF NOBLESVILLE ENGINEERING STANDARDS.

NOTE:

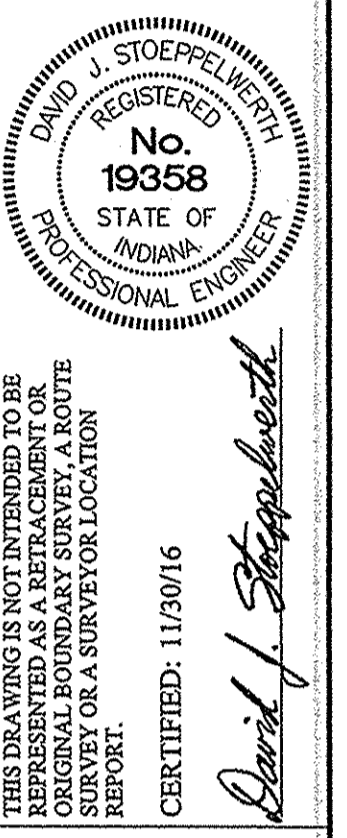


# RECORD DRAWING

Dennis D. Olmstead  
Registered Land Surveyor  
No. 900012  
12/12/2017



DATE	MARK	REVISIONS
12/02/17		AS BUILT
02/02/17		ADDED LEGAL DRAIN & FW ZONE A
		JAN
		KJM
		BY



**STOEPPELWERTH**  
ALWAYS ON  
7615 East 106th Street, Fishers, IN 46038-2505  
phone: 317.849.5295 fax: 317.849.5242

## STORM SEWER PLAN & PROFILE

### PEBBLE BROOK VILLAS

HAMILTON COUNTY, INDIANA  
NOBLESVILLE, WAYNE TOWNSHIP

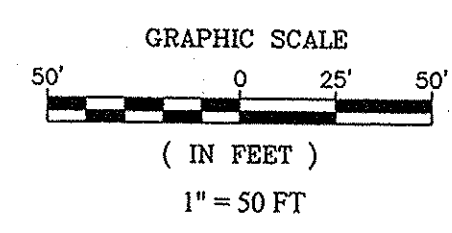
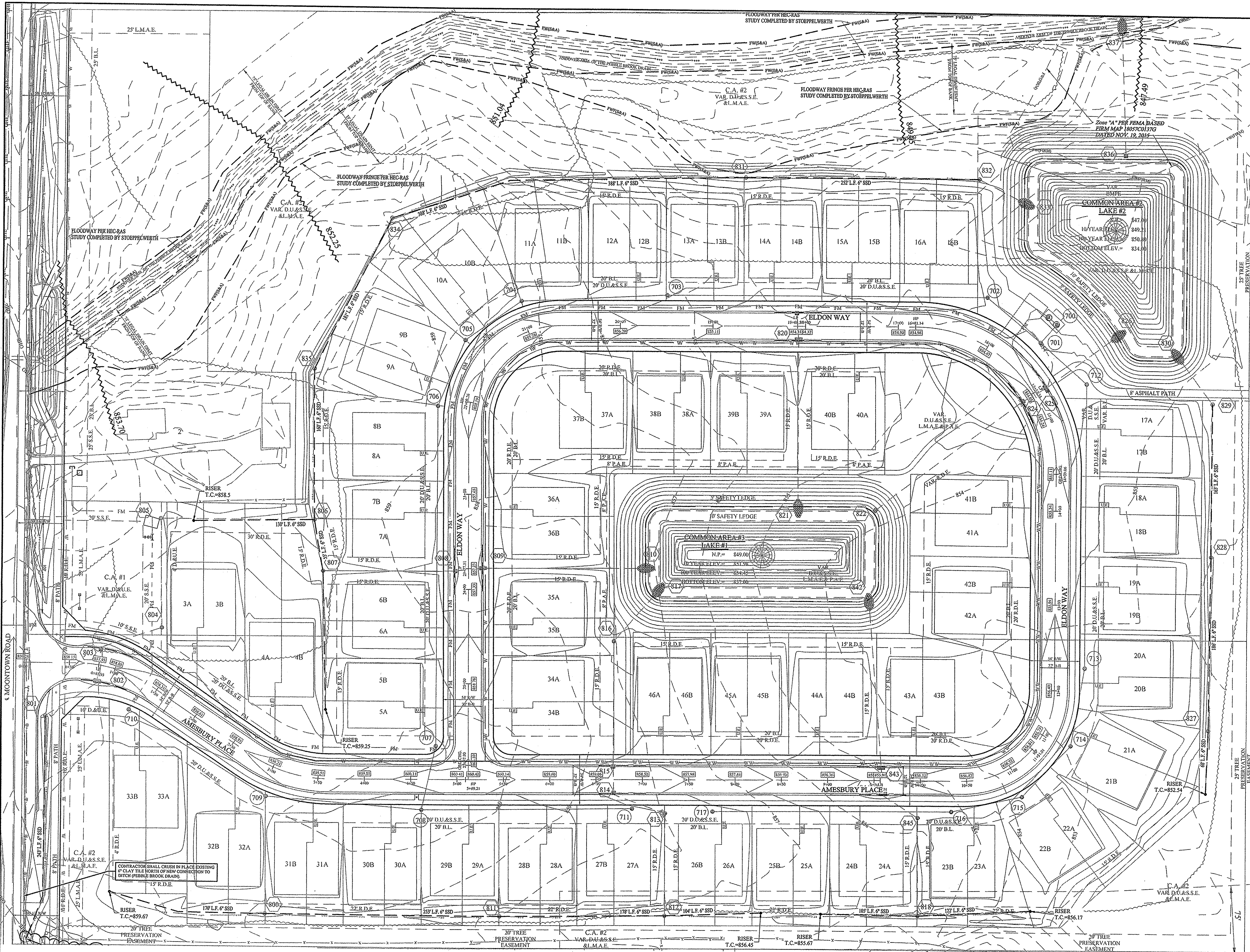
DRAWN BY: JSM	CHECKED BY: BAH
SHEET NO. <b>C604</b>	
S & A 306 NO. 75875PLA-S1	

File Name: S:\75875PLA-S1\DWG\C600 Storm Sewer Plan & Profiles.dwg - C604  
Modified / By: December 12, 2017 5:51:41 PM / jwills  
Plotted / By: December 12, 2017 4:36:37 PM / Jennifer Willis

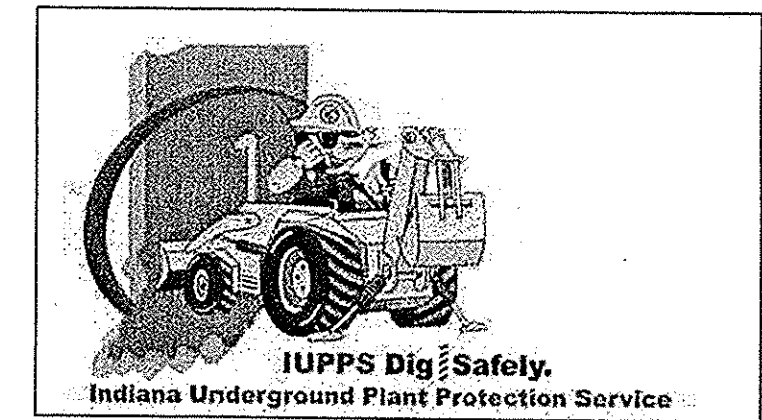


File Name: S:\75675PLA-S1\DWG\C605 Sub-Surface Plans.dwg - C605  
 Modified / By: December 11, 2017 1:04:14 PM / Jwills  
 Plotted / By: December 12, 2017 4:40:57 PM / Jennifer Willis

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This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.  
 Entry Date: 2018  
 Entered By: SLM

**RECORD DRAWING**

Drawn by: Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012  
 Date: 12/21/21

Checked by: Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012  
 Date: 12/21/21

NO.	DATE	BY	REVISIONS
1	12/21/21	JSM	ADDED LEGAL DRAIN & F.W. ZONE A
2	12/21/21	JSM	ADDED LEGAL DRAIN & F.W. ZONE A

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY. A ROUTE REPORT IS REQUIRED FOR LOCATION ON A STATE HIGHWAY LOCATION.  
 CERTIFIED: 11/30/16  
 David J. Stoepfelwirth  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 19358  
 STATE OF INDIANA

**STOEPPELWERTH**  
 ALWAYS ON  
 7945 East 10th Street, Fishers, IN 46038-2505  
 phone: 317.849.5195 fax: 317.849.5192

**SUB-SURFACE DRAINAGE PLAN**  
**PEBBLE BROOK VILLAS**  
 HAMILTON COUNTY, INDIANA  
 NOBLESVILLE, WAYNE TOWNSHIP

DRAWN BY: JSM  
 CHECKED BY: BAH  
 SHEET NO: **C605**  
 S&A JOB NO. 75275CDT A C1